

AGENDA
Historic Yorktown Design Committee

York Hall
East Room
301 Main Street, Yorktown
February 19, 2020
7:00 PM

1. Call to Order
2. Roll Call
3. New Business
 - a. Election of Officers
4. Approval of Minutes
 - a. **September 18, 2019 meeting**
5. Old Business
6. Applications for Certificates of Appropriateness
 - a. **Application No. HYDC-171-20, Larry's Lemonade, 524 Water Street**
 - b. **Application No. HYDC-172-20, County of York, 425 Water Street**
7. Reports / Member Concerns
8. Adjourn

Historic Yorktown Design Committee

Minutes

September 18, 2019
East Room
York Hall
301 Main Street
Yorktown, Virginia

Members Attending: Carolyn Weekley, Chair
Belinda Willis, alternate – voting member
Jose Longoria, alternate – voting member

Staff Attending: Earl W. Anderson, AICP

Ms. Weekley called the meeting to order at 7:00 PM.

Minutes

The minutes of the October 17, 2018 and February 20, 2019 meeting were approved unanimously.

Old Business

None

New Business

Application No. HYDC-163-19, Grace Episcopal Church, 109 Church Street

Mr. Anderson stated that this application, submitted by Grace Episcopal Church, with applicant representative Elizabeth Wash, seeks review of the facing of the interior existing driveway and approval of a new front yard deck railing, new gutters, the house paint color, the deck material, and the roofing material at 109 Church Street.

The applicant has requested that the facing requested for the interior facing retaining wall be closed as the wall has been lowered and the gaps between the bricks are no longer visible from Church Street. Staff agrees that the gaps are not visible from Church Street. Additionally, the removal of the vinyl rail along the top part of the wall has brought the visibility down. The vinyl was replaced with a wood material.

Mr. Anderson stated that staff agrees with the applicant and recommends the HYDC close out the continuing review of the interior existing driveway gaps between the bricks. The

wall has been lowered and the gaps are no longer evident from Church Street. Additionally, with the removal of the white vinyl railing on the top of the wall, the wall has become much less visible. It is only visible when you approach the driveway and see the slope down that the gaps would be visible which is very minimal.

The previous approval by the HYDC to require the deck railing to have a picket style fencing feature was to make sure the deck was not visible from Water Street. The Guidelines specify that decks “should be screened from public rights-of-way by appropriate landscape materials”. The HYDC was not only concerned with viewing the deck itself, but seeing the people congregating on the deck. Staff agrees that the deck should be hidden from view, which could be accomplished with the extension of the existing picket fence on the adjacent neighbor’s property across the frontage or with landscaping along the frontage. This screening would allow the deck railing to not have the picket fence style and hide the deck from view. With the removal of the pickets the staff is concerned by the material type requested by the applicant for the deck railing. The applicant has proposed a white powder coated metal railing, which is not consistent with the materials allowed by the Guidelines. The applicant has noted in the narrative that metal railings are allowed in the Guidelines section for Commercial, Civic, and Institutional Construction; however, this structure has been considered residential with a minor institutional use and has fallen under the residential use classification predominately. As such, staff feels the materials should be consistent with the Guidelines for New Residential Construction and “be constructed of wood or wood-like synthetic or composite material that is painted”.

The proposed LeafGuard gutters are boxy shaped with a square downspout, rather than a half round gutter and round downspout that the Guidelines identify. Other gutters are allowed by the Guidelines, if the gutter is consistent with the style of the structure. The LeafGuard gutters do appear to blend in with the fascia and do not appear to be as visible as other gutters and could fit in with the style of the home. A rounded downspout should be considered rather than the square downspout as required by the Guidelines.

The other proposed changes for the house color, deck material, and roofing material are consistent with the Design Guidelines.

Staff recommends that the Committee find the proposal consistent with the guidelines and that the application be approved, subject to the following condition:

1. The proposed changes shall be installed in accordance with the features as depicted on the “Detailed Description Attachment” presented with the application and received on August 28, 2019, except as noted below.
2. The deck railing shall be constructed of wood or wood-like synthetic or composite material.
3. A white picket fence of equal height to the adjacent picket fencing at 105 and 107 Church Street shall be constructed across the frontage facing Water Street, supplemented with landscaping, to block views of the deck.

4. The gutter downspouts shall be rounded.

Mrs. Willis asked if staff was recommending landscaping in lieu of fencing.

Mr. Anderson opined that either would be good, but both would provide screening. The plantings should be evergreen, so it provides year round screening. The view of the deck will be limited, but when you have people standing on the deck it will be evident from Water Street, so some kind of screening is recommended.

Ms. Weekley asked the applicant their thoughts on the screening recommendation.

Mrs. Elizabeth Wash stated that they preferred the landscaping, as they felt the way the lot line runs along the property would prevent a fence from being constructed in a way that would benefit the screening. They feel that plantings along the bluff would be beneficial in many ways.

The Committee agreed to allow the railing to change and to require landscaping for screening.

Mrs. Wash opined that the railing materials are similar to the handicap rail on the front of Grace Episcopal Church. They want a long term product that will stay fresh and this type of railing has precedent. Additionally, the black railing will disappear from view at Water Street. Therefore, they would prefer the metal to the wood.

The Committee agreed to allow the railing to be outside the guidelines, since it would not be visible and would be a safer material over time. The railing would be painted black.

Mrs. Wash stated that their concern is that the gutter contractor for LeafGuard has never done a configuration where the gutters go into a rounded downspout. The system is a whole piece and is not easily broken up. The setback and angles are such that from the distance you would not be able to tell.

Mr. Longoria stated that he felt the contractor could easily cut and install the rounded downspout.

Mr. David O'Brian questioned what is gained by going round, since the house is set far back from the street. The LeafGuard system is a whole piece system and the downspouts would run along the corners and would blend in. He does not believe it will be unpleasant to look at from a distance.

Mr. Longoria said it is not that he disagrees; however, the guidelines state that it should be round for everyone. Many on Church Street already have them, so we want to make sure we are being consistent.

Mrs. Wash said that she does not believe the gutters will be visible from Church Street. She understands the guidelines, but it is going to turn a plain system into a custom system and to hold the manufacturer to a warranty versus installing something that might not work and they have way to get it fixed.

Ms. Weekley questioned how the round would make it clog.

Mrs. Wash stated that LeafGuard does not do a round downspout, so it would need to be custom.

The Committee discussed and felt that the gutters needed to be consistent.

Mr. Longoria asked what color of shingles the applicant would prefer.

Mrs. Wash said they liked both choices and would like to have approval of both, then they could choose once the development started and it could be matched better.

The Committee agreed to approve both shingles as proposed.

Ms. Weekley asked if there were any other comments.

There being no further discussion Mrs. Willis moved approval of the application to find the proposal consistent with the Guidelines and that the application be approved, subject to the following conditions:

1. The proposed changes shall be installed in accordance with the features as depicted on the "Detailed Description Attachment" presented with the application and received on August 28, 2019, except as noted below.
2. The front deck railing shall be not be required to place pickets on the outside of the railing. The front deck railing shall be constructed of a black metal railing. Evergreen plantings shall be planted along the frontage facing Water Street to block views of the deck.
3. The gutter downspouts shall be rounded.

By voice vote, the motion was approved unanimously.

Application No. HYDC-164-19, Scott and Julie Reichle, 234 Nelson Street

Mr. Anderson stated that this application, submitted by Scott and Julie Reichle seeks approval for the design of the proposed renovations to an existing single-family detached home on property located at 234 Nelson Street.

The property was previously approved at the February 20, 2019 HYDC meeting for the numerous improvements, which have been completed. The proposed new renovations would consist of:

- Install a new white front yard picket style fence at the southwest and southeast corner of the front yard;
- Install a new six foot (6') white board-on-board with spacing;
- Repair and replace existing split rail fence between front and back yard;
- Install brick pavers around driveway; and
- Replace existing front stepping stone walkway with brick paver walkway.

In staff's opinion, the proposed renovations to the property are fully consistent with the Design Guidelines and with the character of surrounding structures and the Historic Core. Staff believes that the proposed installations will be visually appealing and that it merits approval. Accordingly, it is recommended that the Committee find the proposal consistent with the Guidelines and that the application be approved, subject to the following conditions:

The renovation shall be constructed in accordance with the narrative descriptions and submitted materials and pictures and with the supplementary information presented with the application and received August 28, 2019.

Mrs. Willis stated that the new improvements look wonderful and the new proposals will continue to improve the property.

Mr. Longoria and Ms. Weekley agreed.

Ms. Weekley asked if there were any other comments.

There being no further discussion Mrs. Willis moved approval of the application to find the proposal consistent with the Guidelines and that the application be approved, subject to the following conditions:

The renovation shall be constructed in accordance with the narrative descriptions and submitted materials and pictures and with the supplementary information presented with the application and received August 28, 2019.

By voice vote, the motion was approved unanimously.

Application No. HYDC-165-19, Yorktown Village Apartments, 311 Ballard Street

Mr. Anderson stated that this application, submitted by Yorktown Village Apartments seeks approval for the design of new shutters for the multi-family residential structure on property located at 311 Ballard Street. The proposed changes would consist of replacing the existing black louvered shutters with new black paneled shutters.

In staff's opinion, the proposed renovations to the structure are fully consistent with the Design Guidelines and with the character of surrounding structures and the Historic Core. Staff believes that the proposed new shutters will be visually appealing and that the

application merits approval. Accordingly, it is recommended that the Committee find the proposal consistent with the Guidelines and that the application be approved, subject to the following condition:

The renovation shall be constructed in accordance with the application narrative description and submitted pictures received August 29, 2019.

Ms. Weekley asked if there were any other comments.

There being no further discussion Mrs. Willis moved approval of the application to find the proposal consistent with the Guidelines and that the application be approved, subject to the following conditions:

The renovation shall be constructed in accordance with the application narrative description and submitted pictures received August 29, 2019.

By voice vote, the motion was approved unanimously.

Staff Reports

Mr. Anderson discussed the administrative approvals completed since the last meeting and he reviewed them with the Committee.

Mr. Anderson asked the Committee their opinion about the possibility of making Main Street a one way from the monument through to Ballard Street. The proposal would close a lane with landscaping down the middle and have pedestrian and bike access to the other lane. This would help bring more traffic down Main Street and give more visibility to the businesses on Main Street.

Mrs. Willis asked if there would be an effort to sit down with everyone about the closing.

Mr. Anderson said that the County would definitely want feedback from the residents of Yorktown.

Mr. Longoria asked if there would be any pedestrian markers placed down the road.

Mr. Anderson stated that those items would be considerations during the design phase, if it got that far, but that pedestrian safety would be a top feature.

Overall the Committee thought it should be something that is considered and people would like the safety of being able to walk in Yorktown safely. Families might use it more, too. They felt that a meeting with the Yorktown residents would be helpful to get everyone's opinion.

Committee Requests

None

There being no further business to come before the Committee, the meeting was adjourned at 8:09 pm.

Respectfully Submitted,

Earl W. Anderson, Secretary

Approved by HYDC: _____

COUNTY OF YORK

MEMORANDUM

DATE: February 13, 2020 (HYDC Mtg. 2/19/20)

TO: Historic Yorktown Design Committee

FROM: Earl W. Anderson, AICP, Senior Planner

SUBJECT: Application No. HYDC-171-20; Larry's Lemonade, 524 Water Street

This application, submitted by Larry's Lemonade, seeks approval for the replacement of the four front windows with roll up windows at 524 Water Street. The applicant moved into the structure in the beginning of May 2018. The use was authorized, pursuant to the terms of the YVA-Yorktown Village Activity District. The structure was built in 1949 and is considered a Non-Contributing Building. The Committee previously approved signage for the business.

The applicant has provided the attached pictures of the proposed windows. The windows would be in the same location as the existing windows and be separated into four panes that can roll up to allow the space to be open to the outside.

Copies of the pictures and rendering are attached.

Pertinent Design Guidelines

The subject property is located in the Waterfront area, as defined by the Yorktown Historic District and Design Guidelines and would be subject to the standards set out in Section II, *The Waterfront* (page 55) of the Design Guidelines. The proposed shed should be evaluated in accordance with those provisions.

A summary listing of the relevant standards along with staff comment follows:

Standard	Comments
<u>Site Planning and Landscape Alterations</u>	
1. Views Scenic and pleasant views to and from the York River and vantage points such as the Coleman Bridge, the bluffs, and other significant sites should be protected and maintained. The effect of new construction on such views, and on views from surrounding properties, will be considered on a case-by-case basis. Views objectionable in the Historic District from such vantage points should be screened whenever possible.	The building currently faces Water Street and the beach with the back of the building facing the bluff area. The building is painted in a muted white and black color scheme. The proposed roll up windows would be black powder-coated, to match the existing windows and trim.

<p><u>Architectural Additions and Alterations</u></p>	
<p>1. Planning for Alterations, Additions, and New Construction</p> <p>In general, alterations, additions and new construction on the Waterfront should be designed to harmonize with the surroundings and maintain compatibility in terms of style and materials. Materials need not duplicate those of nearby buildings, but similarity is often desirable. Design should be compatible with and contribute to the character of an architecturally unified Waterfront.</p>	<p>The proposed roll up windows are not used in any other buildings on the waterfront or in Yorktown and would be unique to the structure. The materials would be trimmed in black and would match the existing trim color.</p>
<p>e. Design</p> <p>(1) Overall building design should be consistent with the character of Yorktown and particularly the style, shape and massing of the buildings on Main Street.</p>	<p>The building has been used by a number of restaurants over the years and has seen a number of alterations to the building. The current proposal is in no other location in Yorktown, but would be what you see in other open style restaurant locations and should blend well with the overall beach location.</p>
<p><u>Architectural Elements</u></p>	
<p>d. Windows and Shutters</p> <p>(1) Window openings should be designed to respect the width to height ratio of the bays in the building façade. Attention should be given to the façade's overall composition, symmetry, or balanced asymmetry. Windows should be square or vertical in proportion. Casement windows should be avoided.</p>	<p>The windows will be sized proportionally to the structure size and will replace the existing single pane window with a four pane system. The panes will be vertical in proportion in a rectangular shape. When open the roll up windows will open the restaurant to the outside, but the structure of the roll up will be hidden within the building and will not be visible from Water Street. All four windows will be replaced with the proposed roll up windows and maintain the symmetry of the structure.</p>

Recommendation

Staff recommends approval of the new roll up windows with design and specifications/details as submitted by the applicant, with the following proposed condition:

1. All hardware used to install the roll up windows will be painted black and hidden within the structure of the building, so as not to be visible from Water Street.

Historic Yorktown Design Committee

February 13, 2020

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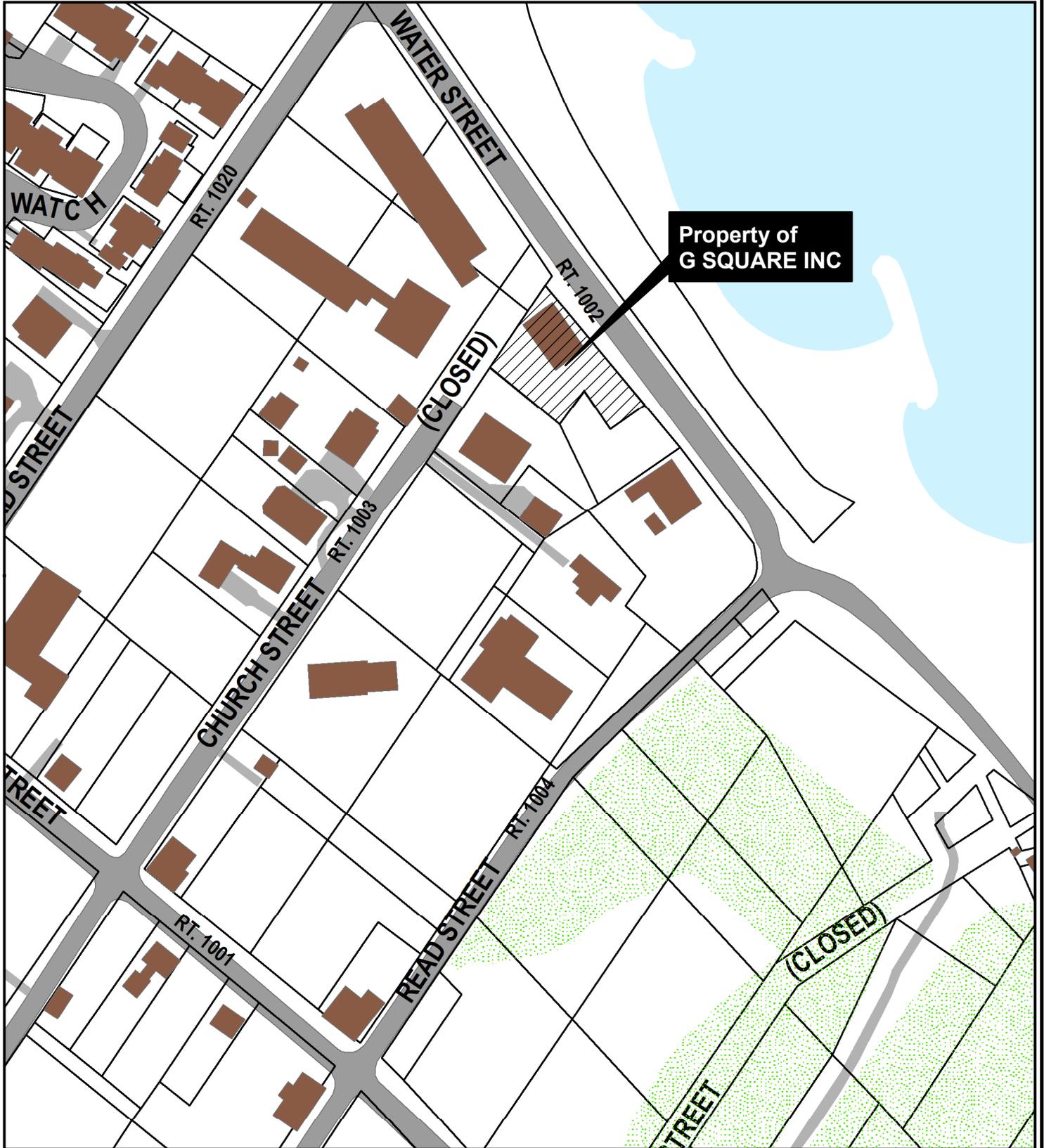
Attachments

- Application
- Vicinity Map
- Pictures of proposed windows
- Street View of Building.

APPLICANT Larry's Lemonade
524 Water Street
Architectural review to replace four
front windows with roll up windoss

VICINITY MAP

APPLICATION NUMBER: HYDC-171-20



★ = Conditional Zoning

0 65 130 260
Feet

Printed on February 7, 2020



SOURCE: YORK COUNTY
GIS PARCEL DATA and
ZONING DATA

THIS IS NOT A LEGAL PLAT.
This map should be used for
information purposes only. It is
not suitable for detailed site planning.



HYDC #: 171-20
 Date Filed: 2/5/20

Historic Yorktown Design Committee

APPLICATION FOR ARCHITECTURAL REVIEW

I/We LHLB request authorization under the terms of the Yorktown Historic District (Section 24.1-377 of the York County Zoning Ordinance) and the Yorktown Design Guidelines to undertake the property improvements described in this application.

Property Location/Address: 524 Water Street, Yorktown, VA 23690

NOTE: If property is located within the Chischiak Watch (CW) homeowners association, be advised that approval from the CW Architectural Control Committee may also be required before any changes or improvements to the property can be made.

Tax Assessor's Parcel Number(s): _____
 GPIN: _____

Proposed Action(s):

<input type="checkbox"/>	New Building	<input type="checkbox"/>	Repainting with existing color scheme
<input type="checkbox"/>	Addition	<input type="checkbox"/>	Repainting with different color scheme
<input type="checkbox"/>	Relocation	<input type="checkbox"/>	New roof – same color and materials
<input type="checkbox"/>	Demolition	<input type="checkbox"/>	New roof – different color or materials
<input type="checkbox"/>	Deck / Porch / Trellis	<input checked="" type="checkbox"/>	New / replacement windows
<input type="checkbox"/>	Garage / Storage Shed	<input type="checkbox"/>	Signs (new or replacement)
<input type="checkbox"/>	Walls / Fences	<input type="checkbox"/>	
<input type="checkbox"/>		Other (please describe) <u>Front 4 windows Facing water street</u>	

Detailed Description of Proposed Improvements / Actions: please describe the proposed exterior improvements and property modifications that you would like to undertake; attach architectural plans or sketches or photographs to depict the proposal: Replacing existing glass which is aged and cracked with roll-up windows with window pane style look. Black in color vinyl and trim to match historic colors.

A LIST OF ALL MATERIALS USED AND COLORS PROPOSED MUST BE SUBMITTED WITH THE APPLICATION: (include information for foundation, walls, doors, windows, trim, gutters/downspouts, roofing, lighting, sidewalks, mechanical equipment, decks, rails, chimney, walls, fences, and others as applicable; include samples of materials and color charts.)

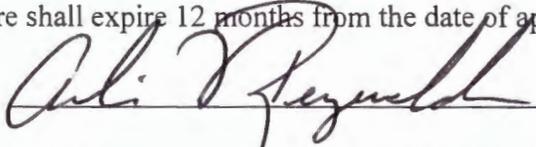
Applicant/Property Owner

Representative

Printed Name Ardis Reynolds
Address 104 Dandy View Lane
City/State/Zip Yorktown, VA 23692
Phone/Fax No. 757-746-8797
E-mail vic@thelarryslemonade.com

Printed Name _____
Firm _____
Address _____
City/State/Zip _____
Phone/Fax No. _____
E-mail _____

The above named person/firm has permission to represent me regarding this request for architectural review. I understand that approval by the Historic Yorktown Design Committee (HYDC) of any construction, reconstruction, alteration, demolition or other modification of a building, structure, sign or exterior architectural feature shall expire 12 months from the date of approval.

Property Owner Signature:  Date: 02/04/2020

Signing this application form shall constitute the granting of authority to County officials and HYDC members to enter onto the property for the purposes of conducting the analysis of the application, taking photographs and posting signs to notify the public of the application.

PLEASE NOTE THAT CONSIDERATION WILL NOT BE GIVEN TO INCOMPLETE APPLICATIONS.

Application was:

- Approved
- Approved with Conditions
- Administrative Approval
- Denied

Date of Action: _____

RECEIVED
York County

FEB 05 2020

Planning
Division



RECEIVED
York County

FEB 05 2020

Planning
Division





COUNTY OF YORK

MEMORANDUM

DATE: February 13, 2020 (HYDC Mtg. 2/19/20)

TO: Historic Yorktown Design Committee

FROM: Earl W. Anderson, AICP, Senior Planner

SUBJECT: Application No. HYDC-172-20; County of York, 425 Water Street

This application, submitted by the County of York, requests approval of the design and architectural features of a new building proposed to replace the existing Dockmaster Building and Public Restrooms at the intersection of Water Street and Ballard Street. The proposed two-story structure would support the activities of five County operations in addition to providing ADA accessible public restrooms. These operations include the Riverwalk Landing Pier Operations, Parking Services, Ambassador Services, Freight Shed Logistics, and Event Logistical Support. Additionally, the Dockmaster Building would serve as a lost and found location, the Mobi-Chair checkout station, first aid station, year-round event command and serves as the sole location for visitors to gain information from a County representative, at the Yorktown Waterfront. The proposed construction would be brick with roof materials of synthetic slate shingles. The project also proposes signs for the Dockmaster’s office and the restrooms. Five double-sided signs would hang from wrought iron brackets and are approximately eleven inches by nine inches. Two other signs would be mounted in the alcove for the restrooms and are approximately sixteen inches by six inches. The sign design would be black and white with a decorative lettering.

The structure complies with the minimum setback requirements specified for the YVA – Yorktown Village Activity district.

Copies of the renderings provided by the applicant are enclosed. A large-size rendering and plans are available for review in the Planning Division offices and will be displayed at the meeting.

Pertinent Design Guidelines

The subject property is located in the Waterfront sub-district, as defined by the Yorktown Historic District and Design Guidelines, and should be evaluated for conformance with the Waterfront standards (see standards on page 29 of the Design Guidelines). A listing of those standards, along with staff comments regarding compliance of the proposal, follows:

Standard	Comments
<p>A. Purpose</p> <p>The design guidelines for the Waterfront are intended to:</p> <ol style="list-style-type: none"> 1. preserve the character of <i>contributing</i> buildings, landscapes, and the Waterfront as a whole; 	<p>No Contributing Buildings are involved.</p>

<p>2. encourage an appropriate site design response to the area's waterfront location that ensures protection and enhancement of water views and public access to the shoreline;</p> <p>3. promote and guide new construction that contributes to an architecturally unified Waterfront appropriate to Yorktown's character.</p> <p>Like many town centers, the Yorktown Waterfront is not the product of any one historical era, but rather reflects the changes in use and architecture that accompanied the growth of Yorktown over the years. The challenge for the Waterfront will be to recreate and revitalize its function as a focal point for Village activity while permitting it to continue to grow and change in the future. For this reason, sensitivity to the following design principles is essential:</p> <ol style="list-style-type: none"> 1. Buildings and façades should be compatible with the size and character of the area's buildings, and should encourage active pedestrian activity and interaction. 2. The pedestrian scale should always be considered, with details and amenities scaled and provided for pedestrian activity wherever possible. 3. New buildings should respect and be compatible with existing design, height, and siting patterns with frontage directly on the sidewalk. Materials that are compatible with the character of the area, particularly brick and wood, should be used. 4. Scenic and pleasant views to and from the York River and vantage points such as the Coleman Bridge, the bluffs, and other significant sites should be protected and maintained. 	<p>The proposed design will create interior and exterior space with outstanding views of the waterfront.</p> <p>The proposed construction is complementary to the Riverwalk Landing architecture.</p> <p>The proposed building fits well with the other structures in the Riverwalk area and interacts well with pedestrians.</p> <p>The new building was designed specifically for pedestrian traffic.</p> <p>The proposed building is designed to interact directly with the sidewalk on both sides of the building and the beach area.</p> <p>The proposed building would not impact any of these areas.</p>
<p>B. Site Planning and Landscape Alterations</p> <p>1. Views</p> <p>Scenic and pleasant views to and from the York River and vantage points such as the Coleman Bridge, the bluffs, and other significant sites should be protected and maintained. The effect of new construction on such views, and on views from surrounding properties, will be considered on a case-by-case basis. Views objectionable in the Historic District from such vantage points should be screened whenever possible. Preservation of historic, scenic views should take precedence over any special allowances concerning size, scale, form, and massing. When developing or redeveloping parcels located between Water Street and the river, one or more view corridors to the York River should be provided in the site design and layout. Such view corridors should have a minimum width of fifteen (15) feet and together comprise not less than 25% of the street frontage of the lot. Such view corridors may be provided through the use of side yard setbacks, open areas within the interior of the lot, transparent lines of sight through buildings, or</p>	<p>The new building should not impact views from any significant areas.</p>

<p>any combination. In any case, the river should remain visible to pedestrians from Water Street at normal eye level.</p> <p>Views from public rights-of-way and adjacent properties to ground-level utilities such as air conditioning units, trash and recycling containers, and satellite dishes must be screened. Such mechanical equipment should be located unobtrusively on the site in side or rear yards. Use appropriate evergreen plant materials or compatible, solid fencing as the preferred screening approaches. Other acceptable alternatives—either on their own or in combination with plant materials or fences—include the construction of compatible outbuildings to house such utilities, or the use of walls, provided they are in character with the primary building or outbuildings on the site.</p> <p>2. Walks, Paths and Paved Pedestrian Areas</p> <p>Use appropriate materials for walks, paths and paved pedestrian areas, such as brick, bluestone or other monolithic stone, or exposed aggregate (brown or gray pea gravel) concrete. Asphalt and plain concrete are not appropriate materials for pedestrian circulation on the Waterfront.</p> <p>3. Parking Areas</p> <p>Locate parking areas, where feasible, at the side or rear of buildings located on the south side (land side) of Water Street. Parking adjacent to buildings on the north side (river side) of Water Street is discouraged, but if it is provided, it should be located to the side of buildings and not adjacent to the street or the river. Any parking areas adjacent to Water Street, whether located at the front or side of the building, should be defined with plantings or other features that provide a streetscape edge.</p> <p>Appropriate species of trees and other plant materials should be included in the landscape design for parking lots. Particular attention must be given to the height of such trees at maturity when evaluating whether views from the bluffs or other critical vantage points will be impacted.</p> <p>In all cases, opportunities to provide vehicular connections between parking areas associated with adjacent properties, and to consolidate or reduce in number the entrances/exits to such parking areas from Water Street, should be explored and pursued.</p> <p>All new parking areas must be paved with a permanent, dustless, hard surface. Preferred surfacing materials include brown pea-stone set in an asphalt base or a</p>	<p>The ground-level utility equipment will be on the outside of the structure on the southern side. A six foot high cellular PVC fence is proposed to enclose and hide the equipment. No plantings are shown to screen.</p> <p>The adjacent brick sidewalks around the existing buildings are not proposed to be altered and will be integrated into the new building design.</p> <p>No new parking is proposed.</p>
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<p>brownstone asphalt mixture. Standard black asphalt is appropriate only as a base for stones. Also to be avoided: standard smooth or broom-finish concrete.</p> <p>4. Vegetation</p> <p>Naturally-occurring vegetation, particularly that associated with the bluffs, should be retained and incorporated into the overall site and landscape design when it is healthy and contributes positively to the character of the Waterfront. Noxious plant materials, such as kudzu, should be removed from the landscape and replaced with appropriate vegetation. Landscaping to be preserved or planted must be carefully selected to ensure its sustainability in a waterfront environment and a commercial/public use setting and to ensure that it contributes positively to the site character. Selected trees and shrubs should be evaluated with respect to growth habits and to avoid the necessity of severe future pruning and ultimate deformation due to planting in an inappropriate location.</p> <p>5. Walls and Fences</p> <p>Fences and walls should contribute to the site's character and not detract from principal architectural features on the site or adjacent to the site. Appropriate exposed finish materials for walls include wood, brick, stone, or stamped concrete. Unfaced concrete or concrete block walls are not appropriate.</p> <p>Fences may be wood, brick or wrought iron. Salt-treated wooden fences must be painted or stained. Composite wood or wood-substitute products or synthetic fence materials may be considered on a case-by-case basis. Chain-link and wire fences are not appropriate.</p> <p>6. Site Furnishings</p> <p>Site furnishings, such as benches, trash receptacles, and bicycle racks, should be selected to be compatible with the setting in which they will be located and the overall streetscape character of the Waterfront. Such furnishings should be constructed of durable, yet appropriate, materials and will be reviewed on a case-by-case basis to assure consistency with the character of the particular setting and the historic area as a whole. Vending machines, if located outside buildings, shall be screened from view from rights-of-way, public</p>	<p>Existing vegetation will be removed and replaced with new plantings after construction. The County has strived to provide beautification through plantings within beds and containers throughout the waterfront.</p> <p>The southern side of the building is proposed to have an area for the HVAC equipment. The fence style is a solid-framed style with pyramid end caps.</p> <p>Fencing is proposed to be a six foot high cellular PVC fence, which is not in the suggested materials list. The County's Public Works staff have expressed concern about the use of wood at the waterfront and its quick degradation. The Committee could consider the vinyl fencing; however, previously approved fencing material has been wood. Staff would propose a composite wood material be used.</p> <p>No details on site furnishings has been provided. Compliance with this standard will remain a responsibility of the applicant on an on-going basis.</p>
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<p>walkways, and the river by architectural features, landscaping, fencing or combinations thereof.</p> <p>7. Lighting</p> <p>a. Landscape Lighting</p> <p>Landscape lighting should be visually unobtrusive during both the day and night. It should complement the architecture and outdoor spaces rather than spot-lighting them. Lighting wattage should be understated and compatible with the setting and surroundings and must not create inappropriate light trespass onto adjacent properties or glare on adjacent properties, public streets or public areas.</p> <p>b. Building Lighting</p> <p>Building lighting should be provided only when it will enhance and complement the architectural features of a structure at night as opposed to spotlighting them for attention-getting purposes. Lighting wattage should be understated and compatible with the setting and surroundings and must not create inappropriate light trespass onto adjacent properties or glare onto adjacent properties, public streets or public areas.</p> <p>c. Street, Walkway and Parking Lot Lighting</p> <p>Poles, posts and fixtures should be designed and sized as an integral part of the site architecture and, generally, should not exceed the height of the eaves of nearby structures. Galvanized metal, bright colors, and other visually inappropriate materials should not be used for poles, posts or fixtures. Lighting wattage should be selected and limited to achieve appropriate illumination levels for safety and security while avoiding light glare and trespass onto adjacent properties, public streets or public areas.</p> <p>C. Architectural Additions, Alterations and New Construction</p> <p>1. Planning for Alterations, Additions and New Construction</p> <p>In general, alterations, additions and new construction on the Waterfront should be designed to harmonize with the surroundings and maintain compatibility in terms of style and materials. Materials need not duplicate those of nearby buildings, but similarity is often desirable. Design should be compatible with and contribute to the character of an architecturally unified Waterfront. The following principles should be observed:</p>	<p>No details on landscape lighting have been provided. Compliance with this standard can be addressed administratively at the site plan approval stage.</p> <p>Exterior lighting of the building will be through wall-mounted lantern fixtures, similar to those existing on lampposts throughout the waterfront.</p> <p>Exterior lighting of the building will be through wall-mounted lantern fixtures, similar to those existing on lampposts throughout the waterfront.</p> <p>Staff is of the opinion that design will make a positive contribution to the character of the waterfront. The architectural design and the use of brick complement the construction in Riverwalk Landing and will be durable in the waterfront environment.</p>
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<p>a. Scale The size and proportion of new structures should be related to and compatible with the scale of adjacent buildings. Roof lines, building façade widths and rhythm of other features should be consistent with the scale of adjacent buildings, a pedestrian orientation, and the general character of the Waterfront.</p> <p>b. Massing</p> <p>(1) In general, a simple, rectangular building form should be used. Appropriate design variations could include a single, rectangular, box-like building, a single building with more complex massing of several rectangular forms, or a primary building with one or more accessory buildings or dependencies. Large box-like forms should be broken into smaller, varied masses that are more characteristic of Yorktown.</p> <p>(2) Primary emphasis should be given to one building when using multiple buildings on a single lot. Such emphasis should be expressed through the building's larger size and higher level of detailing. Other buildings on the lot should be limited in size to no more than 60% of the footprint of the primary building, and should be constructed of compatible materials and use similar architectural features and details.</p> <p>(3) Accessory buildings and dependencies should be located either to the side or rear of the primary building, except on waterfront lots, where the location should be evaluated on a case-by-case basis to ensure that their size and location does not significantly obstruct views to the river.</p> <p>c. Height The overall height of new construction should relate to that of adjacent structures and to the objective of maintaining desirable views to and from the Waterfront and the adjacent bluffs and other significant vantage points.</p> <p>d. Roof Shapes</p> <p>(1) Roof shapes should be a traditional gabled style with a slope consistent with those found on <i>pivotal</i> and <i>contributing</i> buildings throughout the village. Roof shapes and orientation should be designed with consideration given to maintaining views and visibility from the bluffs and other significant vantage points.</p> <p>(2) Flat roofs, although they may optimize views from the bluffs and other significant vantage points, should be avoided since they will not produce the quality and character appropriate for the Waterfront.</p> <p>e. Design</p>	<p>The proposed design uses various features (Dormers, wall articulation, etc) to break up its mass. Pedestrian circulation is maintained and enhanced both along Water Street and the beach.</p> <p>The design necessarily follows the rectangular building form guideline.</p> <p>A single building is proposed rather than the two buildings which are on the property now.</p> <p>No accessory buildings are proposed.</p> <p>The height of the main massing is 26.5 feet with the cupola adding 11 more feet for a total height of approximately 37 feet. The closest structure is the three-story Duke of York which sits at a higher elevation.</p> <p>The roof shape is gambrel which is mainly found on barns and other warehousing structures. This roof style was chosen to complement the historic waterfront uses and to match the freight shed support building.</p> <p>No flat roof is proposed.</p>
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<p>(1) Overall building design should be consistent with the character of Yorktown and particularly the style, shape and massing of the buildings on Main Street.</p> <p>(2) Standard, corporate designs for national franchise businesses should be avoided unless these designs are compatible with the character of the Yorktown Waterfront.</p> <p>f. Sense of Entry/Orientation</p> <p>All primary buildings should have an orientation and entrance to Water Street. Buildings on parcels located between Water Street and the York River should also have a façade developed to orient to the river. Entries should be articulated with covered porches, porticos or other pronounced architectural forms.</p> <p>2. Architectural Elements</p> <p>a. Walls</p> <p>(1) Wall materials should be compatible with those of existing construction in type, color, texture, size, spacing, and general appearance. Weathered, stained or painted wood, and brick are the preferred materials in the Waterfront area. Composite or synthetic wood or wood substitutes may be approved by the HYDC on a case-by case basis.</p> <p>(2) Wood siding should be horizontal clapboard (beaded edge or beveled) with approximately 6 inches exposure. Trim should be made of trim-grade lumber, not to exceed 2 inches in actual thickness, 6 inches in width at corners and 4 inches around openings- except for trim around the main entrance(s) which can be of different sizes and configurations compatible with the building style and features.</p> <p>(3) Brick walls should be made out of Virginia red brick. Wire cut brick should only be used for painted surfaces. Brick that is bright red, orangish-red, pink, light red, tan or similar colors inconsistent with the types common in Yorktown should not be used. Mortar should be in a beige-to-tan color range. White mortar is not appropriate.</p> <p>(4) Exposed exterior wall surfaces should not consist of more than two materials, and those materials should change along a horizontal line such as a floor line or gable end – with the heavier material always being below the lighter material.</p>	<p>The use of brick, gambrel roof, and dormers, all contribute to consistency of character with other structures in Yorktown.</p> <p>None are proposed.</p> <p>The building has entrances that serve both the beach side and Water Street side. Entry ways are articulated by jack arch lintels of brick that are in a contrasting color to the brick walls.</p> <p>Brick will be the primary material for walls. The dormers are proposed to have cellular PVC shiplap siding. A cellular PVC board will be used for the cupola.</p> <p>The siding is proposed to be horizontal six-inch (6”) shiplap siding. Trim meets the size requirements.</p> <p>The primary wall brick is Old Irvington brick, which is tan in color, which is similar to the existing buildings brick color. Old Hampton brick color is proposed along the foundation, which is a more red brick color with a few darker colored bricks. The mortar color is brownstone, which is a darker brown.</p> <p>The proposed design is consistent with this standard.</p> <p>All foundation walls are proposed to be</p>
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<p>(5) Buildings with siding must have foundation walls faced with brick.</p> <p>(6) Retaining walls should be finished in brick or granite.</p> <p>(7) Metal siding is not appropriate.</p> <p>(8) Tile-faced or ceramic-faced masonry units are not appropriate.</p> <p>(9) Varnished, epoxy-finished or otherwise shiny materials are not appropriate.</p>	<p>brick faced.</p> <p>None proposed.</p> <p>None proposed.</p> <p>None proposed.</p> <p>None proposed.</p>
<p>b. Building Color</p> <p>(1) Paint colors for all exterior surfaces (excluding fences) should be selected comprised of a color or colors from the Yorktown Color Palette, as defined in Appendix 3, Glossary. Other colors may be proposed and will be considered on a case-by case basis.</p> <p>(2) All wooden fences should be painted white or, if to be left natural, properly treated or sealed to preserve and maintain their appearance</p>	<p>The paint colors specified are green and white and are both from the Yorktown Color Palette.</p> <p>No color is proposed for the fence that would screen mechanical equipment located on the southern end.</p>
<p>c. Doors</p> <p>(1) Windows in entrance doors are permitted and should be vertically proportioned. Exterior doors should be of painted wood, enameled metal, or glass. Sliding glass doors should not be used.</p> <p>(2) Utility doors and service doors shall not face the street.</p>	<p>Renderings indicate divided-light glass pane Dockmaster entrance doors and are green in color. Doors to the restrooms are smaller and windowless.</p> <p>The electrical room door on the north side of the structure faces away from the street.</p>
<p>d. Windows and Shutters</p> <p>(1) Window openings should be designed to respect the width to height ratio of the bays in the building façade. Attention should be given to the façade’s overall composition, symmetry, or balanced asymmetry. Windows should be square or vertical in proportion. Casement windows should be avoided.</p> <p>(2) Windowless elevations visible from Water Street, the river, or public spaces should be avoided.</p>	<p>The renderings demonstrate compliance with this standard.</p> <p>Shutters are shown as PVC material.</p> <p>No windowless elevations are proposed.</p>
<p>e. Roofs</p> <p>(1) In general, roofs should be of a symmetrical gable style. Primary roofs should have slopes no less than 9:12. Secondary roofs may have slopes less than 9:12 depending on the material used (e.g. – a standing seam roof over a porch might have a lesser slope).</p>	<p>The primary portion of the gambrel roof is proposed to have a 6:12 pitch. The remaining portion is 12:12 which is steeper, but was used to help minimize the building height, preserve views of the river and beach, and add to the historical warehouse style design.</p>

<p>(2) Steep gable roofs (e.g., greater than 12:12 pitch) are not appropriate.</p> <p>(3) Dormers are appropriate if they encompass only the width of the window and have roofs that match the form and pitch of the main roof.</p> <p>(4) Roof materials should be wood or asphalt/fiberglass composition shingles, or cement shingles. Shingle colors should be compatible in color with the exterior color of the building, either existing or as selected from the Yorktown Color Palette, as defined in Appendix 3, Glossary. Also appropriate are metal standing-seam roofs with factory-applied finishes in a traditional, compatible color, or copper standing-seam.</p> <p>(5) Roof vents, chimney caps and plumbing vents shall match the color of the roof or shall be black, dark gray, or copper/bronze.</p> <p>(6) Flashing may be copper or anodized aluminum or painted to match or complement the color of the building or roof.</p>	<p>The greater portion of the roof is less.</p> <p>Dormers renderings show compliance with this standard.</p> <p>Synthetic Slate shingles in a gray color are proposed for the roof. The cupola will have a copper standing seam metal roof.</p> <p>None are shown to protrude in the drawings.</p> <p>Flashing will be copper or aluminum</p>
<p>f. Chimneys/Vents</p> <p>(1) Chimneys that would become a dominant feature of the waterfront skyline should be avoided. Chimneys and flue enclosures should be made of brick, painted or left natural depending on the type of siding/color of the building. Chimneys may be either external or internal.</p> <p>(2) Commercial kitchen exhaust vents shall be concealed from view from public streets, walkways and the river.</p>	<p>No chimneys are proposed.</p> <p>No kitchen exhaust vents are proposed.</p>
<p>g. Porches and Balconies</p> <p>(1) Use porches, arcades and other similar covered areas as protective and transitional spaces between commercial uses and public rights-of-way.</p> <p>(2) All posts or columns for porches should be consistent and compatible with the scale and character of the building. Columns and posts should be painted to match the trim color of the building.</p> <p>(3) Stoops at secondary entrances should be made of brick, or brick-faced concrete.</p> <p>(4) Railings should have top and bottom rails and balusters should have a vertical orientation. Wood or wrought iron is an appropriate material for railings.</p>	<p>No porches, arcades, or other coverings are proposed.</p> <p>None are proposed</p> <p>No stoops are proposed.</p> <p>No new railings are proposed.</p>

<p>h. Gutters and Downspouts</p> <p>(1) The use of ground gutters is encouraged.</p> <p>(2) If fascia-mounted guttering is used, it should be metal with a half-round configuration. Copper is the preferred material; however, metal with a factory-applied finish color that matches or complements the roof or building color may also be considered. Downspouts should be of round cross-section or other shape appropriate to the style of the building, and made either of copper or metal with a factory-applied finish color that matches or complements the color of the wall surface to which they are attached.</p> <p>i. Awnings</p> <p>Canvas awnings are appropriate for commercial uses provided they are positioned so as not to disrupt the symmetry or rhythm of the building façade. Awnings should be of a single color, but in no case more than two colors, selected to complement the exterior color scheme of the building and in consistency with the Yorktown Color Palette, as defined in Appendix 3, Glossary.</p> <p>j. Utilities</p> <p>(1) Window-type air conditioning units, either in windows or inserted in special openings in the building wall, are not acceptable.</p> <p>(2) The use or placement of television antennas or building-mounted satellite dishes visible from public rights-of-way or the river is not acceptable. Such equipment should be located in attic spaces or inconspicuous exterior locations.</p> <p>(3) Typical rooftop mechanical equipment should be screened completely from view from both the village and the river by locating such equipment in attics, dormers, cupolas or by concealing them behind/within a gabled roof form or other appropriate architectural feature. Buildings should accommodate such equipment in such a way that no portion thereof is visible from adjacent residential areas or key vantage points.</p>	<p>None indicated on concept plans.</p> <p>None indicated on concept plans.</p> <p>No awnings are indicated on the renderings.</p> <p>None proposed.</p> <p>None indicated.</p> <p>None proposed.</p>
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Signage

Standard	Comments
B. Commercial Signs	

<p>Commercial signs should be used primarily to identify a business rather than to advertise products or services. Commercial signs should be designed to be compatible in style with the building(s) to which it refers and should not adopt thematic designs.</p> <p>1. Appropriate Sign Types/Sizes</p> <p>a. Types</p> <p>(1) Pivotal buildings</p> <p>Single-post, freestanding signs</p> <p>(2) Contributing buildings and new construction</p> <p>(a) Wall signs—attached to the exterior wall</p> <p>(b) Hanging signs—hung from a metal bracket or porch lintel, if compatible with the design of the building and porch</p> <p>(c) Elevated freestanding signs (single- or double-post)</p> <p>(d) Portable signs, even for temporary use, shall not be used within the district.</p> <p>b. Size</p> <p>(1) Freestanding: maximum size – nine (9) square feet (per sign face, if two sided sign)</p> <p>(2) Hanging: maximum size – six (6) square feet (per sign face, if two-sided)</p> <p>(3) Wall-mounted: maximum size – five (5) square feet</p> <p>2. Location</p> <p>a. Signs should not be attached directly to the walls or features of pivotal buildings in order to avoid damaging historic materials. For such structures, freestanding signs are more appropriate unless the building fronts directly on the sidewalk or street, in which case a building mounted sign could be appropriate also.</p> <p>b. Wall signs should be located adjacent to the entry door. Buildings with multiple commercial tenants should have a directory sign with all tenants listed.</p> <p>c. Hanging signs should be attached to the underside of the porch roof or lintel, parallel to the front of the building, or from a bracket perpendicular to the face of the building or a porch column. Hanging signs should not be located higher than the top of the porch.</p>	<p>The signs will identify the Dockmaster’s office and the restroom locations and are compatible with the overall style.</p> <p>None proposed.</p> <p>Two wall signs would be installed within the alcove for the restrooms.</p> <p>The hanging signs will be hung from a wrought iron bracket.</p> <p>None proposed.</p> <p>None proposed.</p> <p>None proposed.</p> <p>None proposed.</p> <p>The hangings signs are eleven inches by nine inches.</p> <p>The wall mounted signs are twelve inches by six inches.</p> <p>Not applicable</p> <p>The proposed wall signs meet the criteria.</p> <p>The brackets will be mounted perpendicular to the face of the building and no higher than the lintel.</p>
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<p>d. No sign shall be mounted on or from the roof of a structure. Signs may be attached or applied to fabric awnings and umbrellas with approval on a case-by-case basis.</p> <p>e. Freestanding signs should be located within twenty (20) feet of the front property line, with the sign panel either parallel or perpendicular to the street.</p>	<p>None are proposed.</p> <p>None are proposed.</p>
<p>3. Design, Shape and Materials</p>	
<p>a. Sign design should be compatible with the character of the building and simple in background, colors, lettering, and mounting structure. The building should remain the dominant feature, not the sign.</p>	<p>The white and black proposed sign will complement the trim colors.</p>
<p>b. A horizontal layout should be used for hanging signs. Signs hung over porch stairs or entrances should have a minimum clearance of seven feet six inches (7'-6").</p>	<p>Sign height would be at a height of six feet and six inches.</p>
<p>c. A single-post design should be used for elevated freestanding signs. The post should be of painted wood, five (5) feet to seven (7) feet high, and of simple design, in character with traditional features such as fence posts, lampposts, and hitching posts. The sign should be of painted wood, hung from a simple wooden cross-arm or decorative metal bracket or centered on the top of the post. Sign panels should be double-sided if they are oriented perpendicular to the street. Wood signs, which are partially or entirely sandblasted or burned, are not appropriate. The maximum allowable height shall be ten (10) feet.</p>	<p>None are proposed.</p>
<p>d. Signs should be constructed of appropriate but durable materials, such as:</p> <ul style="list-style-type: none"> (1) marine-grade exterior plywood, with banded or sealed edges, and all elements primed and painted (2) brass or bronze sign panels attached to front façade, fence, or wall (3) painted iron or pressure-treated wood posts for freestanding posts. 	<p>Proposed materials would be durable, weather-resistant PVC.</p>
<p>4. Colors and Lettering</p>	
<p>a. Sign colors should be compatible with the principal color of the building, wall or fence to which they are attached or adjacent. Colors should be selected from the Yorktown Color Palette, as defined in Appendix 3, Glossary. Other colors may be considered on a case-by-case basis.</p>	<p>White with black lettering.</p>
<p>b. Not more than three colors should be used on any one sign.</p>	<p>Two colors are proposed.</p>
<p>c. Metal posts and hardware used for supporting or attaching signs should be painted black or other dark color.</p>	<p>No color is listed.</p>
<p>d. Lettering should be:</p>	

<p>(1) easy to read in terms of size and style</p> <p>(2) appropriate to the character of the property and its use.</p> <p>5. Lighting</p> <p>a. Signs with internal illumination shall not be permitted.</p> <p>b. Freestanding signs may be illuminated by external light sources either directly focused on the sign or through indirect illumination by other site lighting. The specific fixtures and intensity of any external illumination focused on the sign shall be evaluated on a case-by-case basis. In any event, the bulbs shall be concealed by landscaping shields or other appropriate means.</p>	<p>Lettering for signs is an appropriate font and will be easy to read.</p> <p>The signs will not be illuminated.</p> <p>No freestanding signage proposed.</p>
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Recommendation

In staff’s opinion, the proposed construction is consistent, subject to certain conditions, with the Design Guidelines and with the character of surrounding structures and the Waterfront sub-district. Staff believes that the proposal is well conceived and will represent a significant improvement to this segment of Water Street and provide much need services and working space on the waterfront. Accordingly, staff recommends that the Committee find it consistent with the Yorktown Design Guidelines, subject to the following conditions:

1. The architectural design and features shall be consistent with the conceptual renderings entitled “Dockmaster’s Building” prepared by James River Architects, and dated January 24, 2020.
2. A cementitious siding shall be used instead of the proposed cellular PVC siding. Siding and trim applications shall be in accordance with the dimensional and specifications set forth in the Design Guidelines.
3. The brick and mortar colors shall match the brick and mortar colors used within the Riverwalk development.
4. All doors, siding, fencing, and shutters shall match a color from the Yorktown Color Palette and be compatible with the wall and trim colors used on the building.
5. Color samples for both the cement shingles and roof shingles shall be submitted to and approved by the Zoning Administrator before installation.
6. If any vents are installed in the roof they shall be painted to blend with the roof shingle color.
7. The use or placement of television antennas or building-mounted satellite dishes visible from public rights-of-way, the river or adjacent properties shall be prohibited.

8. Fencing around the outside mechanical equipment shall completely screened from view and evergreen landscaping shall be added to provide additional screening.
9. The sign shall conform to the design, materials specifications and color scheme depicted on plans submitted with the application.
10. The sign brackets shall be black or some other matching color.

Anderson/3497

Attachments

- Application
- Vicinity Map
- Model Views
- Dockmaster Plans
- Dockmaster Materials
- Brick and Mortar Colors

APPLICANT County of York, Virginia
425 Water St
Demolish existing dock master building and bathrooms and
construct new dock master building

VICINITY MAP

APPLICATION NUMBER: HYDC-172-20



Property of COUNTY OF YORK VIRGINIA

★ = Conditional Zoning
0 65 130 260
Feet
Printed on February 7, 2020



SOURCE: YORK COUNTY GIS PARCEL DATA and ZONING DATA

THIS IS NOT A LEGAL PLAT. This map should be used for information purposes only. It is not suitable for detailed site planning.



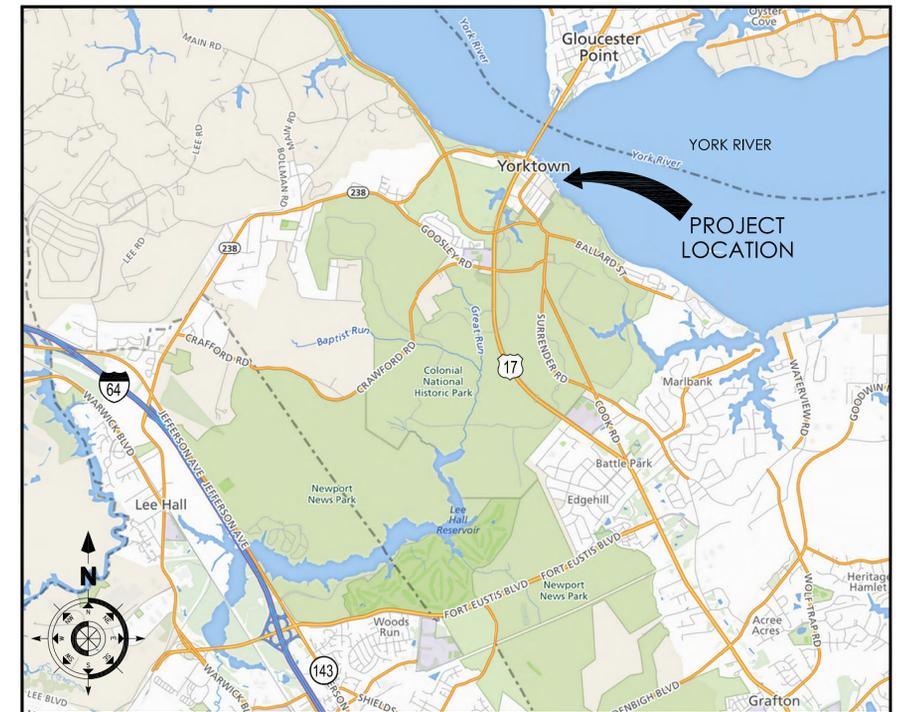


RIVERWALK DOCKMASTER'S BUILDING

YORKTOWN, VIRGINIA 23690



PROGRESS SET - 1/24/2020
NOT FOR CONSTRUCTION



VICINITY MAP
CONSULTANTS

DRAWING LIST

T1	Title Sheet
CIVIL	
GI001	Cover Sheet
VF101	Existing Conditions
CD101	E & S Control & Demolition Plan
CD501	E & S Narrative & Details
CS101	Site Layout Plan
CG101	Site Grading Plan
ARCHITECTURAL	
A1.01	First Floor Plan, Refl. Cng. Plan, Building Code Data, Legends & Notes
A1.02	Second Floor Plan, Refl. Cng. Plan, Roof Plan, Schedules & Notes
A1.03	Exterior Shower Pad Details
A2.01	Elevations
A2.02	Elevations
A4.01	Building Sections
A4.02	Building Sections
A4.03	Building Sections
A4.11	Details
A4.12	Details
A4.13	Details

A5.01	Door and Window Types & Details
A5.02	Exterior Door and Window Details
A7.01	Toilet Plans, Elevations & Details
A7.02	Casework Elevations & Details
STRUCTURAL	
S0.01	Structural Notes
S0.02	Structural Notes
S1.01	Dimension & Foundation Plan
S1.11	Second Floor Framing Plan
S1.21	Roof Framing Plan
S3.01	Sections
S3.11	Sections
S3.21	Sections
S5.01	Typical Foundation Details
S5.02	Typical Framing Details
S5.03	Typical Framing Details
PLUMBING	
P0.01	General Notes, Legend & Abbreviations
P0.02	Fixture Plates
P0.03	Fixture Plates & Details

P1.01	First & Second Floor Plans - Waste
P1.02	First & Second Floor Plans - Water
P6.01	Waste Riser
P6.02	Water Riser
P7.01	Specifications
MECHANICAL	
M0.1	General Notes, Legend, & Abbreviations
M1.0	First & Second Floor Plans
M5.0	Details
M6.0	Schedules
M7.0	Specifications
ELECTRICAL	
E0.01	General Notes, Legend & Abbreviations
E0.02	Demolition Site Plan
E0.03	Site Plan
E1.01	First & Second Floor Lighting Plans
E2.01	First & Second Floor Power & Special Systems Plans
E5.01	Lighting Details
E5.02	Details & Schedules
E6.01	Details, Riser Diagrams & Panel Schedules
E7.01	Specifications
E7.02	Specifications

CIVIL

ATCS

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STRUCTURAL

Speight, Marshall & Francis PC

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PLUMBING, MECHANICAL, ELECTRICAL

Pace Collaborative

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James River Architects ARCHITECTURE • PLANNING • SUSTAINABLE DESIGN A PROFESSIONAL CORPORATION	COMM. NO. 19006 DRAWN BY: DKW
	T1
11832 ROCK LANDING DRIVE SUITE 304 NEWPORT NEWS VIRGINIA 23606-4278 PHONE: 757-595-5504 EMAIL: studio@jamesriverarchitects.com	DATE: 1/24/2020 SHEET OF



SURVEY NOTES

1. THE MERIDIAN SOURCE OF THIS TOPOGRAPHIC SURVEY REFERENCE THE VIRGINIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. GPS LOCALIZATION USING COUNTY OF YORK SURVEY STATION 140
2. ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM 1988 PER COUNTY OF YORK SURVEY STATION 140. ELEV=8.00
3. THIS SURVEY WAS PREPARED TO SHOW EXISTING FEATURES AS OF JULY 8, 2019 AND DOES NOT CERTIFY AS TO THE ACCURACY OF PROPOSED OR FUTURE ITEMS WHICH ARE ADDED TO THIS DRAWING.
4. PIPE MATERIAL TYPES ARE DETERMINED BY FIELD OBSERVATIONS TO THE BEST OF OUR ABILITY WITHOUT ACCESSING STRUCTURES. VARIOUS TYPES MAY NOT BE ACCURATE DUE TO THE INACCESSIBILITY AND LOCATION OF PIPES WITHIN THE STRUCTURES.
5. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE SURVEYOR FURTHER NOTIFIES ALL PARTIES THAT VIRGINIA LAW REQUIRES MISS-UTILITY TO BE CONTACTED PRIOR TO ANY EXCAVATION.
6. A CURRENT TITLE REPORT HAS NOT BEEN FURNISHED TO THIS FIRM.
7. THIS FIRM IS NOT RESPONSIBLE FOR THE LOCATION OF ANY STRUCTURE, MANHOLE, VALVE, ETC., HIDDEN OR OBSTRUCTED AT THE TIME THE FIELD SURVEY WAS PERFORMED.
8. THIS SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF GARY C. THOMAS, L.S., LICENSE NO. 1985, FROM AN ACTUAL GROUND SURVEY MADE UNDER HIS SUPERVISION AND MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.
9. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATION OF PAINT MARKINGS BY MISS UTILITY OF VA. TICKET #A917003251-00A AND RECORD DRAWINGS.
10. ENTIRE AREA OF SURVEY WITHIN RESOURCE PROTECTION AREA (RPA) PER COUNTY OF YORK GIS INFORMATION.
11. VACUUM SEWER LINE SHOWN FROM UTILITY DRAWINGS PROVIDED BY COUNTY OF YORK.
12. NO MISS UTILITY MARKINGS FOR UNDERGROUND ELECTRIC WERE FOUND. UNDERGROUND ELECTRIC LINES SHOWN ARE APPROX. FROM UTILITY DRAWING PROVIDED BY COUNTY OF YORK.
13. SANITARY SEWER LATERAL AND CLEANOUT NOT FOUND IN FIELD. SHOWN FROM DRAWING PROVIDED BY COUNTY.

SUBMISSION		REVISION	
NO.	DATE	NO.	DESCRIPTION

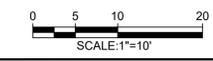
690 TOWN CENTER DRIVE SUITE 201
 NEWPORT NEWS VIRGINIA 23606
 (804) 230-1144 FAX (804) 230-2026
 HENNING PARKWAY 15700
 LARGO - NEWPORT NEWS - RALEIGH
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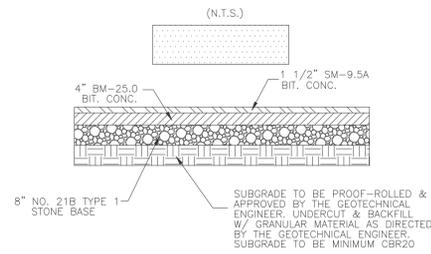
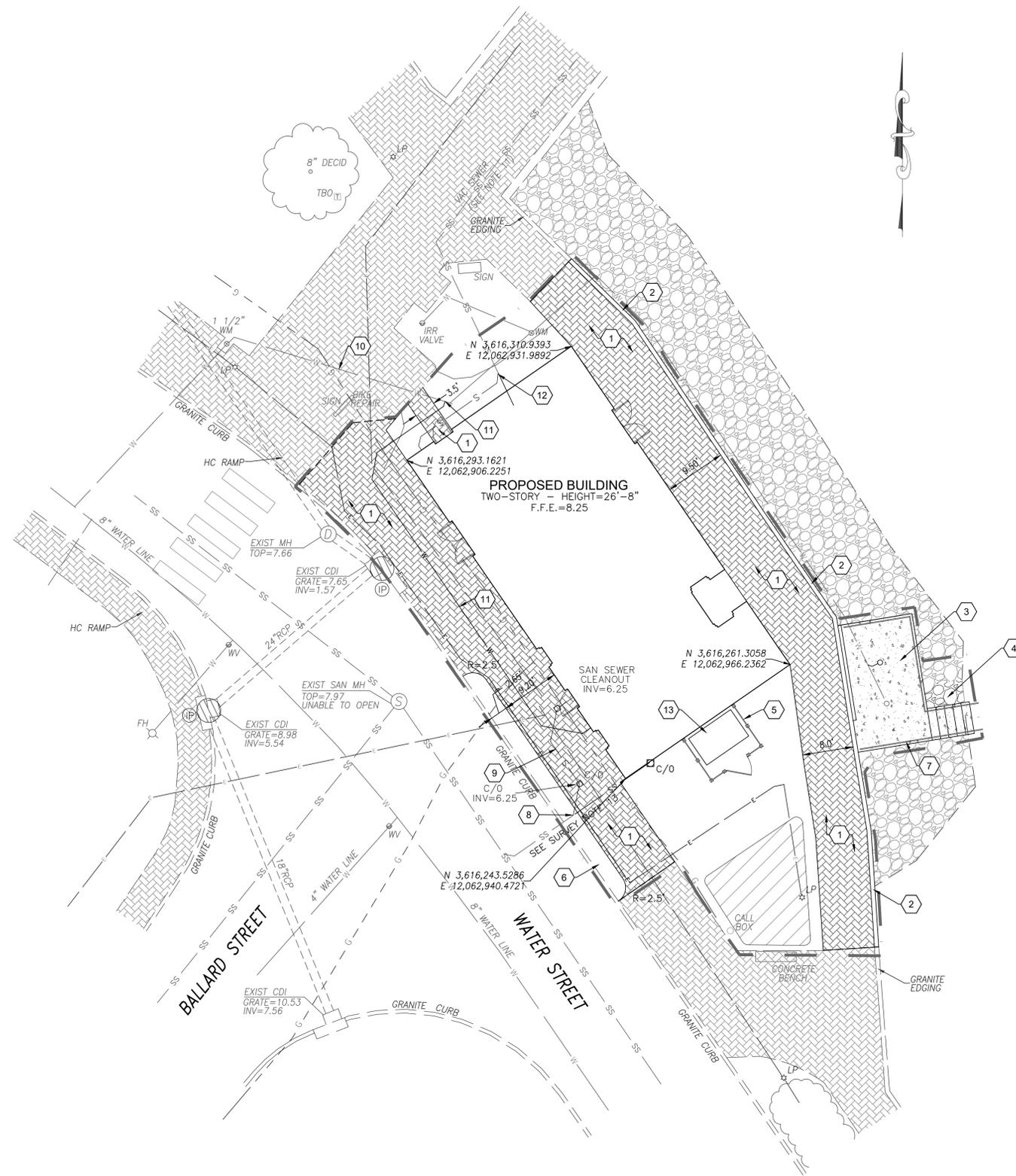


EXISTING CONDITIONS
DOCKMASTER'S BUILDING
 RIVERWALK LANDING
 LOCATION:
 NELSON DISTRICT
 YORKTOWN, VIRGINIA

AUTHOR: RAB
 CHECK: KMS
 PROJ#: 004077
 DATE: 10/24/2019
 SCALE: 1"=10'

SHEET
VF101
 SHEET: 2 OF 6





1 WATER STREET
CS101 PAVEMENT PATCH

NOTES

- DIMENSIONS SHOWN ARE TO FACE OF CURB OR FACE OF BUILDING (WHERE APPLICABLE)
- CONTRACTOR TO PROTECT EXISTING GRANITE CURB IN WATER STREET DURING UTILITY INSTALLATION

KEYNOTES

- PEDESTRIAN PAVERS WITH CONCRETE BASE (PAVERS REUSED TO EXTEND POSSIBLE. SEE ARCHITECTURAL DRAWING FOR DETAILS)
- REPLACE GRANITE EDGING AND CONCRETE BASE (SEE ARCHITECTURAL DRAWINGS FOR DETAILS)
- INSTALL CONCRETE PAD AND STEPS FOR SHOWER TOWERS (SEE ARCHITECTURAL PLANS FOR DETAILS)
- REPLACE RIP RAP STONE AROUND NEW CONCRETE SHOWER PAD AND STEPS
- INSTALL 6" HIGH PVC FENCE WITH 4" WIDE GATE WLATCH. (SEE ARCHITECTURAL PLANS FOR DETAILS)
- LANDSCAPE STRIP
- INSTALL HANDRAILS (SEE ARCHITECTURAL PLANS FOR TYPE, COLOR, AND DETAILS)
- CONTRACTOR TO VERIFY LOCATION, SIZE, AND DEPTH OF EXISTING SAN SEWER LATERAL. IF SIZE IS 4" OR LARGER AND DEPTH IS LOW ENOUGH FOR PROPOSED BUILDING, CONNECT TO EXISTING SANITARY SEWER LATERAL
- INSTALL 18'-4" SDR-26 PVC @MIN 1.0% W/ TRACER WIRE
- CONTRACTOR TO VERIFY LOCATION AND SIZE OF EXISTING WATER SERVICE LINE.
- CONNECT TO EXISTING SERVICE LINE AND ROUTE 2" C-900 PVC LINE TO FRONT OF BLDG.
- CONTRACTOR TO VERIFY LOCATION OF FLEXIBLE VAC SEWER LINE FROM DOCKS. MAKE CONNECTION AND ROUTE TO BUILDING
- WOOD PLATFORM FOR MECHANICAL EQUIPMENT. SEE ARCHITECTURAL PLANS FOR DETAILS.

LEGEND



SUBMISSION		REVISION	
NO.	DATE	NO.	DESCRIPTION

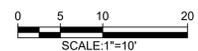
690 TOWN CENTER DRIVE, SUITE 201
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HERRING PARKWAY, SUITE 206
LARGO, NEWPORT NEWS, VA 23606
RICHMOND, WASHINGTON, DC
WWW.ATCSPLC.COM



SITE LAYOUT PLAN
DOCKMASTER'S BUILDING
RIVERWALK LANDING
LOCATION:
NELSON DISTRICT
YORKTOWN, VIRGINIA

AUTHOR: RAB
CHECK: KMS
PROJ#: 004077
DATE: 10/24/2019
SCALE: 1"=10'

SHEET
CS101
SHEET: 5 OF 6



ABBREVIATIONS

Ø	DIAMETER, ROUND POUND OR NUMBER	HORIZ	HORIZONTAL
#	AND	HS	HIGH STRENGTH
∠	ANGLE	ID	INSIDE DIAMETER
⊕	AT	INSL	INSULATION
CL	CENTERLINE	JB	JOIST BEARING
L, L	PLATE	JT	JOINT
AF	ABOVE FINISHED FLR	LOC	LOCATION
ADDL	ADDITIONAL	MAS	MASONRY
ALUM	ALUMINUM	MATL	MATERIAL
APC	ACOUSTIC PANEL CEILING	MAX	MAXIMUM
BC	BOTTOM CHORD	MECH	MECHANICAL
BFF	BELOW FINISH FLOOR	MFG	MANUFACTURER
BLDG	BUILDING	M.O.	MASONRY OPENING
BLKG	BLOCKING	MIN	MINIMUM
BOT	BOTTOM	MISC	MISCELLANEOUS
CIP	CAST-IN-PLACE	M. R. GNB	MOISTURE-RESISTANT GYPSUM WALLBOARD
CLG	CEILING	MTL	METAL
CMU	CONC. MASONRY UNIT	NG	NON COMBUSTIBLE
COL	COLUMN	O.C.	ON CENTER
CONC	CONCRETE	O.D.	OUTSIDE DIAMETER
CONN	CONNECTION	OFCL	OWNER-FURNISHED, CONTRACTOR-INSTALLED
CONSTR	CONSTRUCTION	OFOL	OWNER-FURNISHED, OWNER-INSTALLED
CONT	CONTINUOUS	OPNG	OPENING
CONTR	CONTRACTOR	PED	PEDESTAL
COORD	COORDINATE	PREFIN	PREFINISHED
CTR	CENTER	REIN	REINFORCING
DBL	DOUBLE	REQD	REQUIRED
DET	DETAIL	R.O.	ROUGH OPENING
DN	DOWN	RH	ROOM
D.O.	DOOR OPENING	SCHED	SCHEDULE
DIA	DIAMETER	SG	SINGLE
DS	DOWNSPOUT	SH	SHEET
EA	EACH	SIM	SIMILAR
ELEC	ELECTRICAL	SPEC	SPECIFICATION
ELEV	ELEVATION	SQ	SQUARE
EQ	EQUAL	STD	STANDARD
EXT	EXTERIOR	STL	STEEL
FDN	FOUNDATION	T.O.B.	TOP OF BEAM
FEC	FIRE EXTINGUISHER CABINET	T.O.F.	TOP OF FOOTING
FIN	FINISH	T.O.M.	TOP OF MASONRY
FLR	FLOOR	T.O.S.	TOP OF STEEL
FRT	FIRE RETARDANT TREATED	TRTD	TREATED
FTG	FOOTING	TYP	TYPICAL
FV	FIELD VERIFY	UN	UNLESS OTHERWISE NOTED
GA	GAUGE	VERT	VERTICAL
GALV	GALVANIZED	W	WITH
G.C.	GENERAL CONTRACTOR	WD	WOOD
GNB	GYPSUM WALLBOARD	WH	WATER HEATER
HB	HOSE BIBB	WHF	WELDED WIRE FABRIC
HDR	HARDWARE		
HGT	HEIGHT		

BUILDING CODE INFORMATION

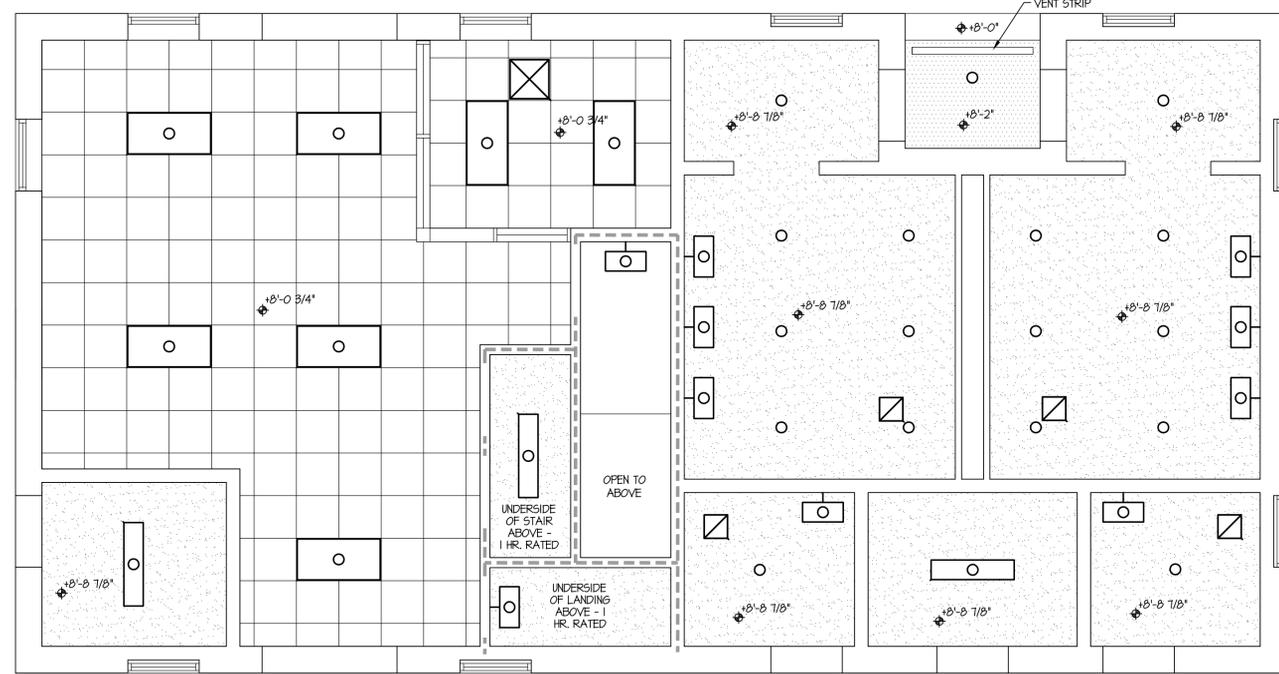
ADDRESS: 425 WATER STREET, YORKTOWN, VIRGINIA
 APPLICABLE CODE: VIRGINIA CONSTRUCTION CODE, 2015.
 USE AND OCCUPANCY CLASSIFICATION: GROUP B, BUSINESS.
 CONSTRUCTION TYPE: III-B NON-COMBUSTIBLE/COMBUSTIBLE UNPROTECTED.
 FIRE PROTECTION: NONE.
 TABULAR ALLOWABLE AREA: 19,000 SF.
 ACCESSIBLE PERIMETER: 61 PERCENT.
 PERIMETER ACCESS AREA INCREASE: 1,800 SF.
 TOTAL ALLOWABLE AREA OF ONE FLOOR: 26,800 SF.
 ACTUAL BUILDING AREA OF EACH FLOOR: 1,800 SF.
 TABULAR ALLOWABLE HEIGHT: 3 STORIES, 55 FEET.
 ACTUAL HEIGHT: 2 STORIES, GRADE TO AVERAGE ROOF HEIGHT: 24 FEET.
 REQUIRED FIRE-RESISTANCE-RATED BUILDING ELEMENTS:
 EXTERIOR WALLS WITH 10 FEET OR MORE SEPARATION: 2 HR
 INTERIOR WALLS EXCEPT AS NOTED: 0 HR
 FLOOR CONSTRUCTION: 0 HR
 ROOF CONSTRUCTION: 0 HR
 SPECIFIC REQUIRED FIRE-RESISTANCE RATED INTERIOR ELEMENTS:
 STAIRWAY SHAFT: 1 HR
 SEPARATION OF NON-STAIRWAY ELEMENTS WITHIN STAIR: 1 HR
 FIRE RATINGS OF EXIT ACCESS CORRIDORS: NONE (V.C.G. 1020) EXCEPTION 4).
 CODE OCCUPANCY CALCULATION: 19 PERSONS PER FLOOR.
 NUMBER OF EXITS REQUIRED: ONE
 NUMBER OF EXITS PROVIDED: EIGHT (SIX EXITS PROVIDE EGRESS FROM ONLY ONE ROOM EACH).
 ACCESSIBLE MEANS OF EGRESS: ALL PROVIDED EXITS ARE ACCESSIBLE.
 EGRESS WIDTH REQUIRED: 32 INCHES.
 EGRESS WIDTH PROVIDED FOR DOORS SERVING MORE THAN ONE ROOM: 152 INCHES.
 WIDTH OF STAIRWAY REQUIRED: 36 INCHES.
 WIDTH OF STAIRWAY PROVIDED: 48 INCHES.
 MAXIMUM COMMON PATH OF EGRESS TRAVEL REQUIRED: 15 FEET (V.C.G. TABLE 1006.3.2(2)).
 MAXIMUM COMMON PATH OF EGRESS PROVIDED: 55 FEET TO STAIRWAY.
 AN ELEVATOR IS NOT REQUIRED (V.C.G. 1104) EXCEPTION 1).

GENERAL NOTES

UNLESS OTHERWISE NOTED, DIMENSIONS ARE TO THE FACE OF CMU FOR CMU PARTITIONS, FACE OF STUD FOR WOOD STUD PARTITIONS, OR TO CENTERLINES OF STRUCTURAL ELEMENTS.
 WHERE A PARTITION TYPE IS NOT GIVEN, USE PARTITION TYPE 54.
 FIELD-VERIFY ALL DIMENSIONS, CONDITIONS, LINES, LEVELS AND ELEVATIONS BEFORE STARTING WORK. PROMPTLY ADVISE THE ARCHITECT OF ANY DISCREPANCIES FOR RESOLUTION.
 WHERE CONSTRUCTION FEATURES ARE NOT FULLY INDICATED ON THE DRAWINGS, USE CONSTRUCTION OF THE SAME CHARACTER AS FOR SIMILAR CONSTRUCTION THAT IS INDICATED OR NOTED.
 PROVIDE VERTICAL CONTROL JOINTS AT ALL CMU WALL INTERSECTIONS; RAKE BACK MORTAR 1/2" AND APPLY SEALANT BEFORE PAINTING.
 PROVIDE BRICK CONTROL JOINTS AT ALL INSIDE BRICK CORNERS.
 BRACE TOPS OF PARTITIONS AS INDICATED IN THE STRUCTURAL DRAWINGS.
 FOR REINFORCING AND GROUTING OF CELLS, REFER TO THE STRUCTURAL DRAWINGS.
 FOR HORIZONTAL JOINT REINFORCING, REFER TO WALL SECTIONS, STRUCTURAL DRAWINGS, AND SPECIFICATIONS.
 USE BULLNOSE BLOCK AT ALL EXPOSED OUTSIDE CORNERS OF INTERIOR CMU.
 FOR CHASE WALLS, IF THERE IS NO CEILING, EXTEND BOTH PORTIONS OF PARTITION TO DECK ABOVE.
 ALL MATERIALS SHOWN IN RATED DESIGN ASSEMBLIES ARE SUBJECT TO THE RESTRICTIONS AND INSTRUCTIONS OF THE REFERENCED DESIGN. NOT ALL INFORMATION IS INDICATED IN THIS DRAWING. WHERE THE CONTRACTOR SUBSTITUTES AN APPROVED DESIGN DIFFERENT FROM THAT SHOWN HERE, ALL REQUIREMENTS OF THE SUBSTITUTED DESIGN MUST BE MET.

GENERAL NOTES FOR CMU PARTITIONS

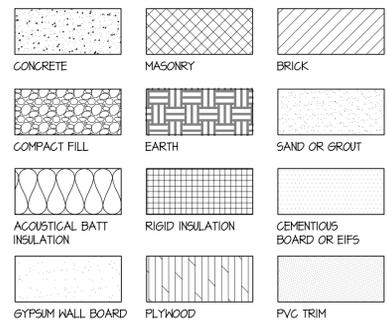
BRACE TOPS OF PARTITIONS AS INDICATED IN THE STRUCTURAL DRAWINGS.
 FOR REINFORCING AND GROUTING OF CELLS, REFER TO THE STRUCTURAL DRAWINGS.
 FOR HORIZONTAL JOINT REINFORCING, REFER TO WALL SECTIONS, STRUCTURAL DRAWINGS, AND SPECIFICATIONS.
 USE BULLNOSE BLOCK AT ALL EXPOSED OUTSIDE CORNERS OF INTERIOR CMU.
 FOR CHASE WALLS, IF THERE IS NO CEILING, EXTEND BOTH PORTIONS OF PARTITION TO DECK ABOVE.
 ALL MATERIALS SHOWN IN RATED DESIGN ASSEMBLIES ARE SUBJECT TO THE RESTRICTIONS AND INSTRUCTIONS OF THE REFERENCED DESIGN. NOT ALL INFORMATION IS INDICATED IN THIS DRAWING. WHERE THE CONTRACTOR SUBSTITUTES AN APPROVED DESIGN DIFFERENT FROM THAT SHOWN HERE, ALL REQUIREMENTS OF THE SUBSTITUTED DESIGN MUST BE MET.



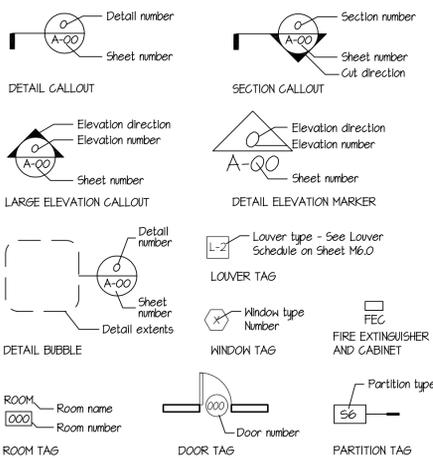
CEILING LEGEND

- CONTRACTOR SHALL VERIFY ALL PARTIAL TILES ARE A MINIMUM OF 6". IF PARTIAL TILES ARE LESS THAN 6" A CUT 2 X 4 TILE SHALL BE INSTALLED. ALL INSTANCES OF CUT 2 X 4 TILES MAY NOT BE INDICATED ON REFLECTED CEILING PLAN.
 - LIGHTING AND HVAC GRILLES SHOWN FOR COORDINATION PURPOSES. SEE "M" AND "E" SHEETS FOR COMPLETE LIGHTING AND HVAC INFORMATION.
- 2X2' ACOUSTICAL CEILING GRID AND TILES
 - GYPSUM BOARD CEILING OR BULKHEAD
 - PORTLAND CEMENT PLASTER CEILING
 - 2X4' LAY-IN LED LIGHT FIXTURE
 - 4' INDUSTRIAL LED FIXTURE
 - 2' LED FIXTURE
 - RECESSED LED LIGHT FIXTURE
 - EXIT LIGHT FIXTURE
 - SUPPLY AIR GRILLE
 - RETURN AIR GRILLE
 - CEILING HEIGHT INDICATION

HATCHES



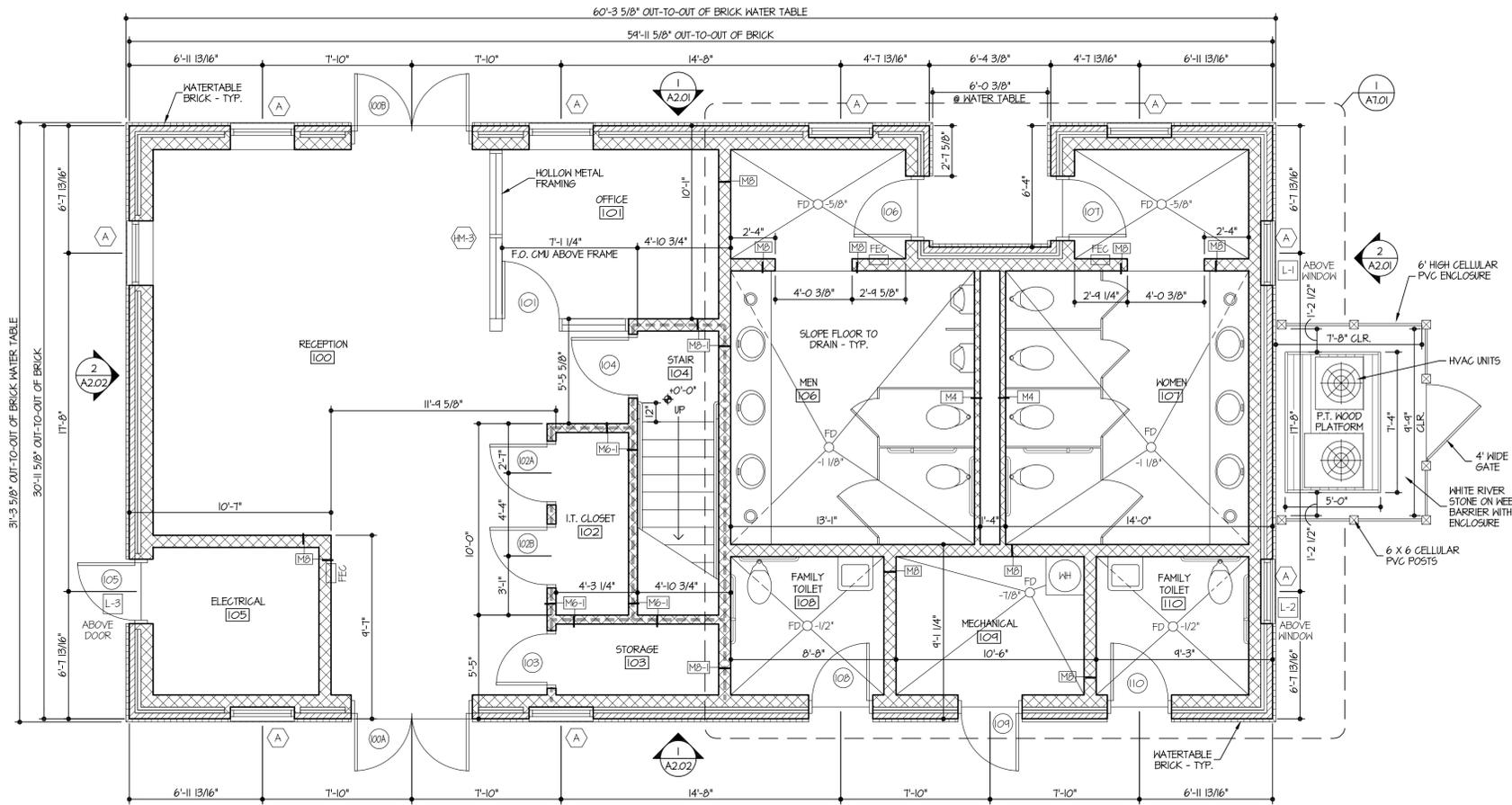
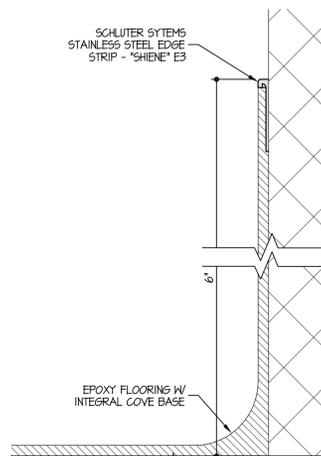
DRAWING SYMBOL LEGEND



FINISH SCHEDULE

SPACE	NAME	FLOOR	WALLS	BASE	CEILING		REMARKS
					TYPE	HEIGHT	
100	RECEPTION	EPOXY	PNTD CMU	VINYL	APC-1	8'-0 3/4"	--
101	OFFICE	EPOXY	PNTD CMU	VINYL	APC-1	8'-0 3/4"	--
102	I.T. CLOSET	EPOXY	PNTD CMU	VINYL	GNB	SEE RCP	--
103	STORAGE	EPOXY	PNTD CMU	VINYL	GNB	SEE RCP	--
104	STAIR	EPOXY	PNTD CMU	VINYL	--	--	RUBBER TREADS/RISERS
105	ELECTRICAL	SEALED CONC.	PNTD CMU	--	M. R. GNB	8'-8 1/8"	NOTE 1
106	MEN	EPOXY	EPOXY	EPOXY	M. R. GNB	8'-8 1/8"	NOTE 2
107	WOMEN	EPOXY	EPOXY	EPOXY	M. R. GNB	8'-8 1/8"	NOTE 2
108	FAMILY TOILET	EPOXY	EPOXY	EPOXY	M. R. GNB	8'-8 1/8"	NOTE 2
109	MECHANICAL	SEALED CONC.	PNTD CMU	--	M. R. GNB	8'-8 1/8"	NOTE 1
110	FAMILY TOILET	EPOXY	EPOXY	EPOXY	M. R. GNB	8'-8 1/8"	NOTE 2

NOTE 1: ELECTRICAL AND MECHANICAL ROOM - PAINT ALL WALL SURFACES, LEAVE ALL EQUIPMENT, PIPES, CONDUITS AND DUCTWORK UNPAINTED.
 NOTE 2: WHERE EPOXY BASE IS SPECIFIED TURN FLOORING UP 6" TO FORM INTEGRAL BASE. SEE DETAIL 3/A1.01.



NOTE: ALL DIMENSIONS ARE FROM FACE OF CMU OR STUD TO FACE OF CMU OR STUD UNLESS NOTED OTHERWISE.
 - - - - - = 1-HOUR RATED PARTITION

REVISIONS

NO.	DESCRIPTION

PROGRESS SET - NOT FOR CONSTRUCTION

FIRST FLOOR PLAN, REFL. CLNG. PLAN, BUILDING CODE DATA, LEGENDS AND NOTES

DOCKMASTER'S BUILDING

425 WATER STREET
 YORKTOWN, VIRGINIA 23690

James River Architects
 ARCHITECTURE • PLANNING • SUSTAINABLE DESIGN
 A PROFESSIONAL CORPORATION

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 PHONE: 757-595-5504 EMAIL: studio@jamesriverarchitects.com

COMM. NO. 19006
 DRAWN BY: DKW

A1.01

DATE: 1/24/2020
 SHEET OF

INTERIOR PARTITION TYPES SCHEDULE

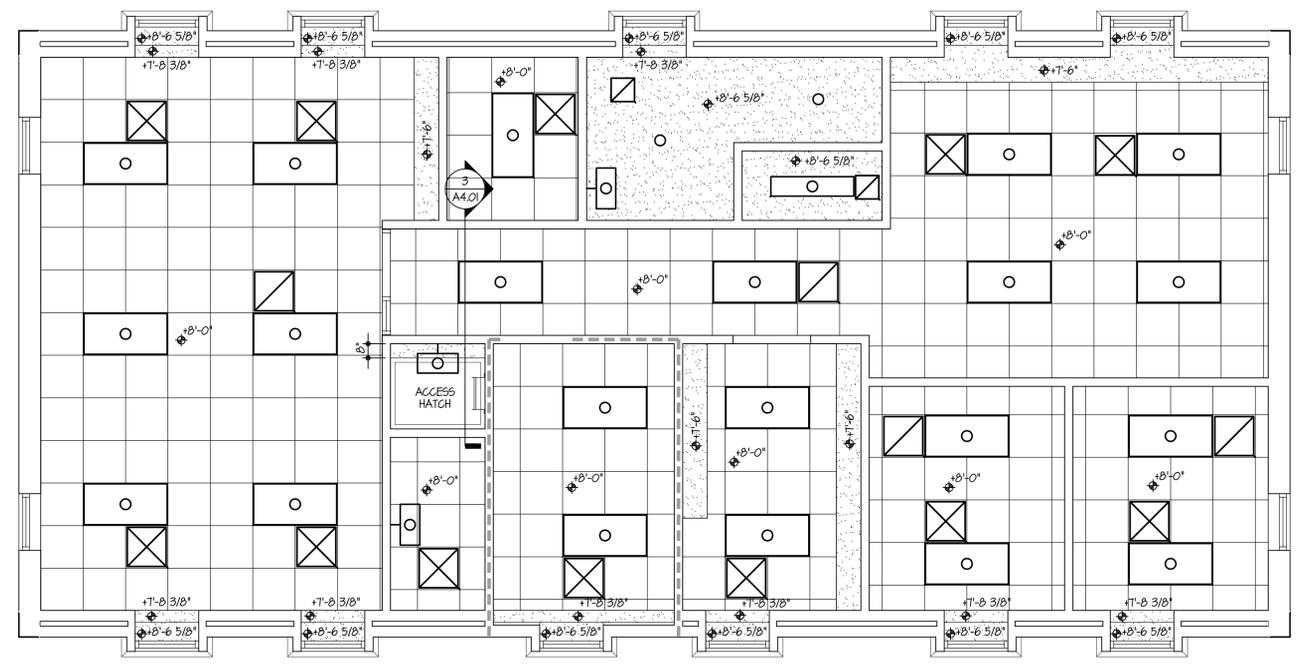
MARK	CONSTRUCTION	HEIGHT	RATING
M4	NOMINAL 4" MASONRY PARTITION: NOMINAL 4" CMU.	TO UNDERSIDE OF TRUSSES ABOVE	(NONE)
M6	NOMINAL 6" MASONRY PARTITION: NOMINAL 6" CMU.	TO UNDERSIDE OF TRUSSES ABOVE	(NONE)
M8-1	NOMINAL 8" MASONRY PARTITION, 1 HOUR: NOMINAL 8" CMU.	TO UNDERSIDE OF TRUSSES ABOVE	1 HOUR, UL DESIGN U105
M8	NOMINAL 8" MASONRY PARTITION: NOMINAL 8" CMU.	TO UNDERSIDE OF TRUSSES ABOVE	(NONE)
M8-1	NOMINAL 8" MASONRY PARTITION, 1 HOUR: NOMINAL 8" CMU.	TO UNDERSIDE OF TRUSSES ABOVE	1 HOUR, UL DESIGN U105
S4	WOOD STUDS: 2 X 4 WOOD STUDS @ 16" O.C. (MAX) WITH 5/8" GYPSUM WALLBOARD EACH SIDE WITH CONT. SOUND ATTENUATION BATTS.	TO UNDERSIDE OF TRUSSES ABOVE	(NONE)
S4-1	2 X 4 WOOD STUDS, 1 HOUR: 2 X 4 WOOD STUDS @ 16" O.C. (MAX) WITH 5/8" FIRECODE "C" GYPSUM WALLBOARD EACH SIDE WITH CONT. SOUND ATTENUATION BATTS.	TO UNDERSIDE OF TRUSSES ABOVE	1 HOUR, UL DESIGN U105
S4B	2 X 4 WOOD STUDS - ONE SIDED: 2 X 4 WOOD STUDS WITH 5/8" GYPSUM WALLBOARD ON ONE SIDE AND CONTINUOUS BATT INSULATION.	TO UNDERSIDE OF TRUSSES ABOVE	(NONE)
S4S	WOOD STUDS: 2 X 4 WOOD STUDS @ 16" O.C. (MAX) WITH 5/8" GYPSUM WALLBOARD ONE SIDE AND 1/2" CEMENTITIOUS BACKER BOARD ON NET SIDE WITH CONT. SOUND ATTENUATION BATTS.	TO UNDERSIDE OF TRUSSES ABOVE	(NONE)
S6B	2 X 6 WOOD STUDS - ONE SIDED: 2 X 6 WOOD STUDS WITH 5/8" GYPSUM WALLBOARD ON ONE SIDE AND CONTINUOUS BATT INSULATION.	TO UNDERSIDE OF TRUSSES ABOVE	(NONE)
S6S	2 X 6 WOOD STUDS - ONE SIDED: 2 X 6 WOOD STUDS WITH 1/2" CEMENTITIOUS BACKER BOARD ON ONE SIDE AND CONTINUOUS BATT INSULATION.	TO UNDERSIDE OF TRUSSES ABOVE	(NONE)

CEILING LEGEND

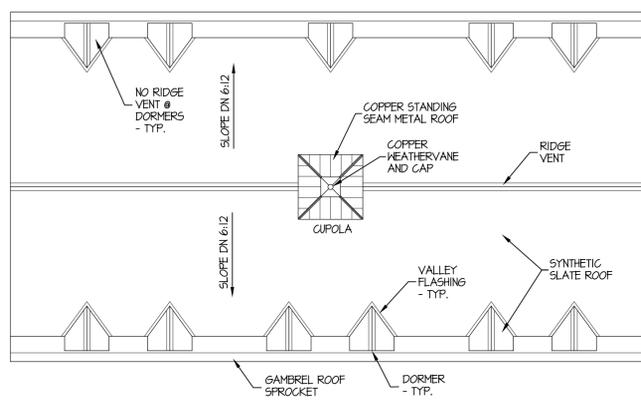
- CONTRACTOR SHALL VERIFY ALL PARTIAL PANELS ARE A MINIMUM OF 6". IF PARTIAL PANELS ARE LESS THAN 6" A CUT 2 X 4 PANEL SHALL BE INSTALLED. ALL INSTANCES OF CUT 2 X 4 PANELS MAY NOT BE INDICATED ON REFLECTED CEILING PLAN.
 - LIGHTING AND HVAC GRILLES SHOWN FOR COORDINATION PURPOSES. SEE "M" AND "E" SHEETS FOR COMPLETE LIGHTING AND HVAC INFORMATION.
- 2X2' ACOUSTICAL CEILING GRID AND PANELS
 - GYPSUM BOARD CEILING OR BULKHEAD
 - PORTLAND CEMENT PLASTER CEILING
 - 2'X4' LAY-IN LIGHT FIXTURE
 - 4' INDUSTRIAL LED FIXTURE
 - 2' LED FIXTURE
 - RECESSED LIGHT FIXTURE
 - EXIT LIGHT FIXTURE
 - SUPPLY AIR GRILLE
 - RETURN AIR GRILLE
 - CEILING HEIGHT INDICATION

FINISH SCHEDULE

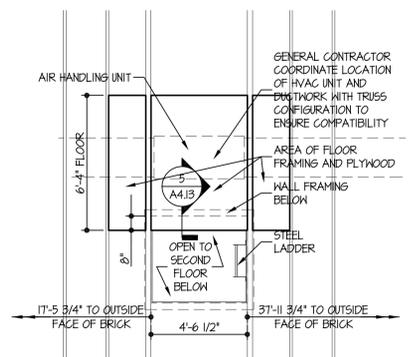
SPACE	NAME	FLOOR	WALLS	BASE	CEILING		REMARKS
					TYPE	HEIGHT	
200	LOGISTICS	CPT	PAINT	VINYL	APC-1	8'-0"	--
201	STORAGE	VINYL	PAINT	VINYL	APC-1	8'-0"	--
202	ACCESS	VINYL	PAINT	VINYL	--	--	--
203	STORAGE	VINYL	PAINT	VINYL	APC-1	8'-0"	--
204	CORRIDOR	VINYL	PAINT	VINYL	APC-1	8'-0"	--
205	STAIR	RUBBER	PAINT	VINYL	APC-1	8'-0"	RUBBER TREADS/RISERS
206	TOILET/SHOWER	VINYL	PAINT	VINYL	M. R. GNB	8'-6 5/8"	--
207	JANITOR	VINYL	PAINT	VINYL	M. R. GNB	8'-6 5/8"	--
208	WORK ROOM	CPT	PAINT	VINYL	APC-1	8'-0"	--
209	OFFICE	CPT	PAINT	VINYL	APC-1	8'-0"	--
210	OFFICE	CPT	PAINT	VINYL	APC-1	8'-0"	--
211	LOUNGE	VINYL	PAINT	VINYL	APC-1	8'-0"	--



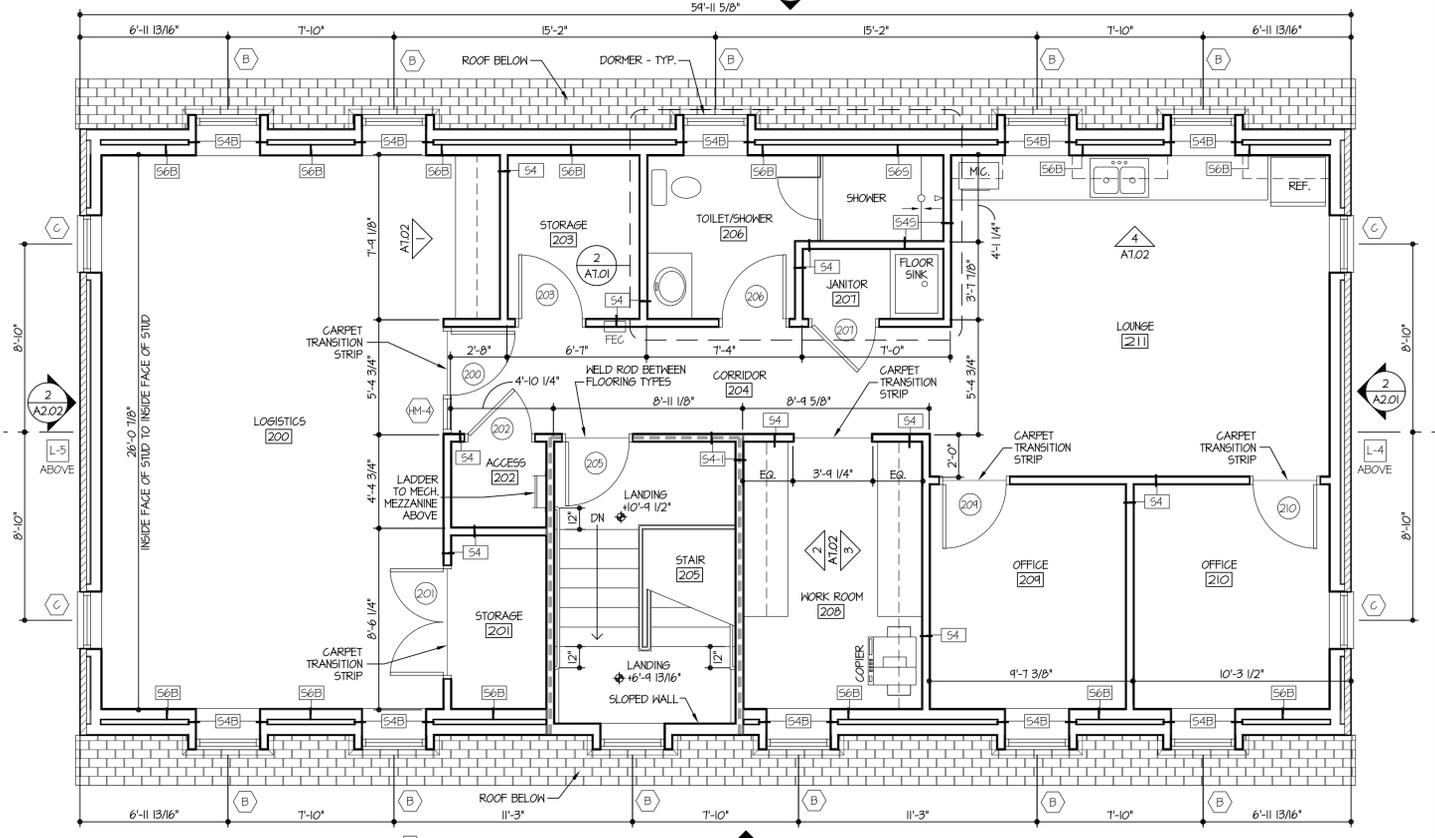
2 SECOND FLOOR REFLECTED CEILING PLAN
A1.02/1/4" = 1'-0"



4 ROOF PLAN
A1.02/1/8" = 1'-0"



3 HVAC ACCESS PLAN
A1.02/1/8" = 1'-0"



1 SECOND FLOOR PLAN
A1.02/1/4" = 1'-0"

NOTE: ALL DIMENSIONS ARE FROM FACE OF CMU OR STUD TO FACE OF CMU OR STUD UNLESS NOTED OTHERWISE.
----- = 1-HOUR RATED PARTITION

REVISIONS

NO.	DATE	DESCRIPTION

PROGRESS SET -
NOT FOR
CONSTRUCTION

SECOND FLOOR PLAN, REFL. CLNG. PLAN, ROOF PLAN, SCHEDULES AND NOTES

DOCKMASTER'S BUILDING

425 WATER STREET
YORKTOWN, VIRGINIA 23690



James River Architects
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COMM. NO. 19006
DRAWN BY: DKW

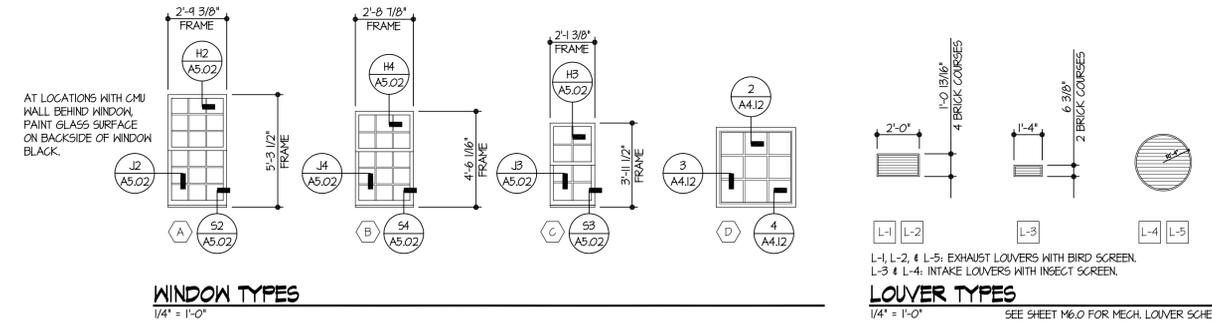
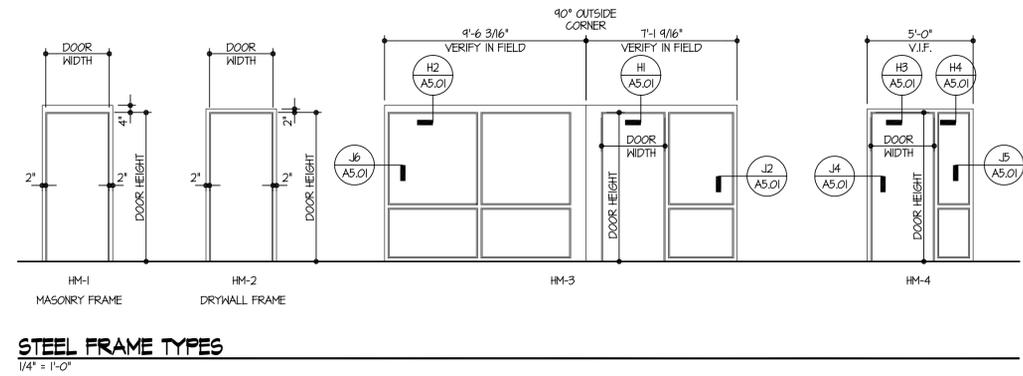
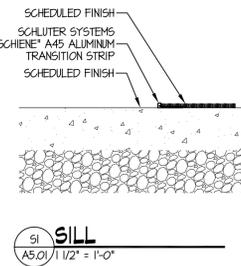
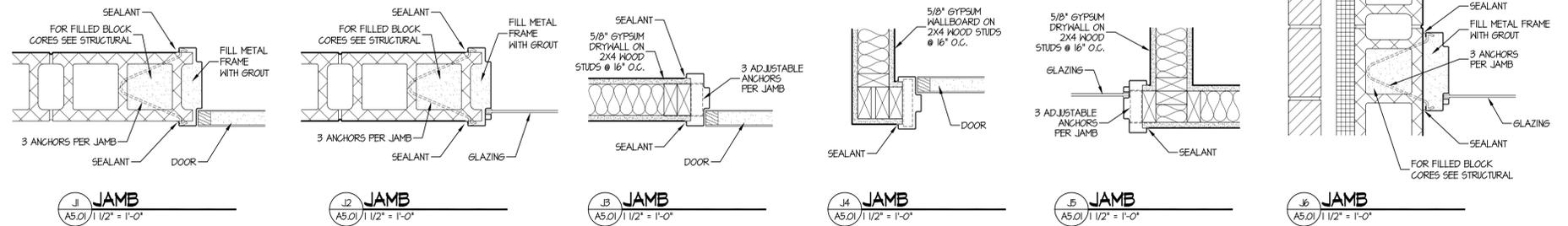
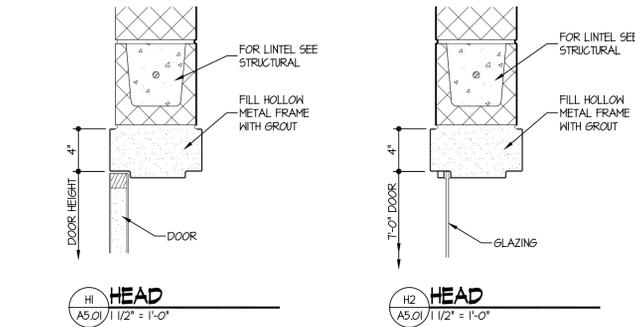
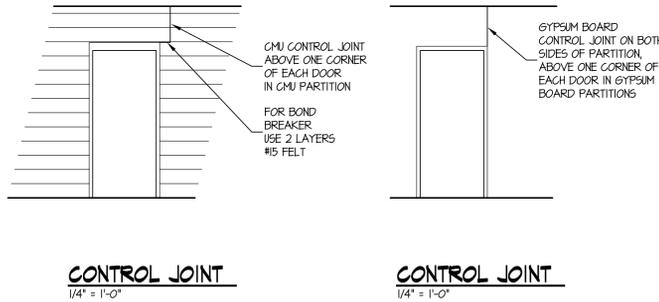
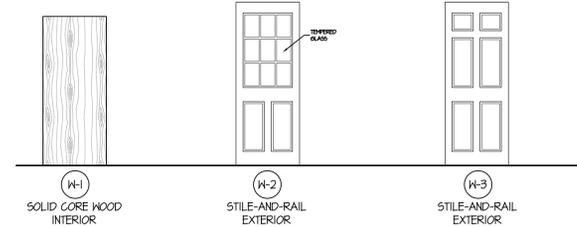
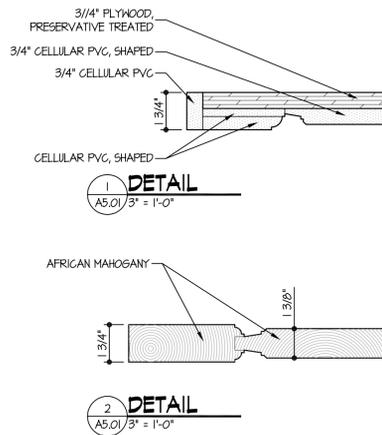
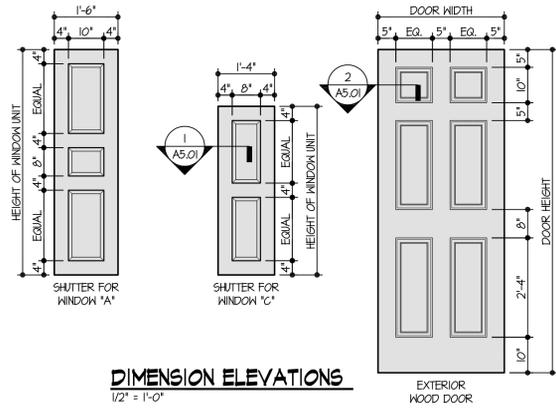
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DATE: 1/24/2020
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DOOR SCHEDULE - FIRST FLOOR										
NO.	SIZE	THICK	TYPE		DETAILS			HDW	FIRE	REMARKS
			DOOR	FRAME	HEAD	JAMB	SILL			
100A	PR 3'-0" x 7'-8"	1 3/4"	K-2	HM-1	HI/A5.02	J1/A5.02	S1/A5.02	2.0	--	--
100B	PR 3'-0" x 7'-8"	1 3/4"	K-2	HM-1	HI/A5.02	J1/A5.02	S1/A5.02	2.0	--	--
101	3'-0" x 7'-0"	1 3/4"	K-1	HM-3	HI/A5.01	--	--	5.0	--	--
102A	3'-0" x 7'-0"	1 3/4"	K-1	HM-1	HI/A5.01	J1/A5.01	--	7.0	--	NOTE 1
102B	3'-0" x 5'-8"	1 3/4"	K-1	HM-1	HI/A5.01	J1/A5.01	--	7.0	--	NOTE 1
103	2'-8" x 4'-4"	1 3/4"	K-1	HM-1	HI/A5.01	J1/A5.01	--	6.0	--	--
104	3'-0" x 7'-0"	1 3/4"	K-1	HM-1	HI/A5.01	J1/A5.01	--	8.0	45 MIN.	--
105	3'-0" x 7'-8"	1 3/4"	K-3	HM-1	HI/A5.02	J1/A5.02	S1/A5.02	12.0	--	--
106	3'-0" x 7'-8"	1 3/4"	K-3	HM-1	HI/A5.02 SIM	J1/A5.02 SIM	S1/A5.02 SIM	4.0	--	--
107	3'-0" x 7'-8"	1 3/4"	K-3	HM-1	HI/A5.02 SIM	J1/A5.02 SIM	S1/A5.02 SIM	4.0	--	--
108	3'-0" x 7'-8"	1 3/4"	K-3	HM-1	HI/A5.02 SIM	J1/A5.02 SIM	S1/A5.02 SIM	3.0	--	--
109	3'-0" x 7'-8"	1 3/4"	K-3	HM-1	HI/A5.02	J1/A5.02	S1/A5.02	1.0	--	--
110	3'-0" x 7'-8"	1 3/4"	K-3	HM-1	HI/A5.02 SIM	J1/A5.02 SIM	S1/A5.02 SIM	3.0	--	--

NOTE 1: UNDERCUT DOOR BY 1".

DOOR SCHEDULE - SECOND FLOOR										
NO.	SIZE	THICK	TYPE		DETAILS			HDW	FIRE	REMARKS
			DOOR	FRAME	HEAD	JAMB	SILL			
102B	3'-0" x 5'-8"	1 3/4"	K-1	HM-1	HI/A5.01	J1/A5.01	--	7.0	--	NOTE 1
200	3'-0" x 7'-0"	1 3/4"	K-1	HM-4	H3/A5.01	J4/A5.01	S1/A5.01	6.0	--	--
201	PR 2'-6" x 7'-0"	1 3/4"	K-1	HM-2	H3/A5.01	J3/A5.01	S1/A5.01	11.0	--	--
202	3'-0" x 7'-0"	1 3/4"	K-1	HM-2	H3/A5.01	J3/A5.01	--	7.0	--	--
203	3'-0" x 7'-0"	1 3/4"	K-1	HM-2	H3/A5.01	J3/A5.01	--	6.0	--	--
205	3'-0" x 7'-0"	1 3/4"	K-1	HM-2	H3/A5.01	J3/A5.01	--	10.0	45 MIN.	--
206	3'-0" x 7'-0"	1 3/4"	K-1	HM-2	H3/A5.01	J3/A5.01	--	4.0	--	--
207	3'-0" x 7'-0"	1 3/4"	K-1	HM-2	H3/A5.01	J3/A5.01	--	7.0	--	--
209	3'-0" x 7'-0"	1 3/4"	K-1	HM-2	H3/A5.01	J3/A5.01	S1/A5.01	5.0	--	--
210	3'-0" x 7'-0"	1 3/4"	K-1	HM-2	H3/A5.01	J3/A5.01	S1/A5.01	5.0	--	--



NO.	REVISIONS

PROGRESS SET - NOT FOR CONSTRUCTION

DOORS AND WINDOWS TYPES AND DETAILS

DOCKMASTER'S BUILDING

425 WATER STREET
YORKTOWN, VIRGINIA 23690



James River Architects

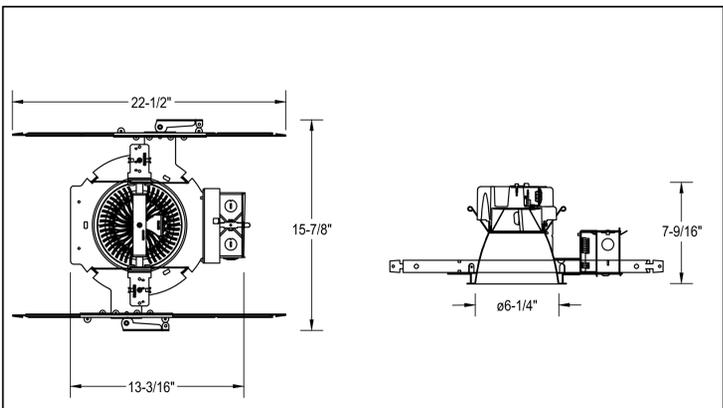
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11832 ROCK LANDING DRIVE SUITE 304 NEWPORT NEWS VIRGINIA 23606-4278
PHONE: 757-595-5504 EMAIL: studio@jamesriverarchitects.com

COMM. NO. 19006
DRAWN BY: DKW/RFS

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DATE: 1/24/2020
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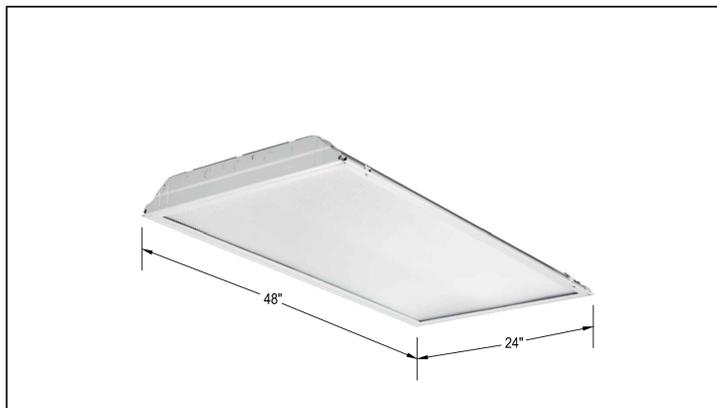


- LUMINAIRE DESCRIPTION:**
1. FIXTURE SHALL BE CONSTRUCTED OF 16-GAUGE GALVANIZED STEEL.
 2. FIXTURE SHALL MEET LM-79 AND LM-80 STANDARDS.
 3. FIXTURE SHALL HAVE INTEGRAL BATTERY BACK-UP WHERE INDICATED (●).

DETAIL BASED ON GOTHAM, "EVO6" SERIES

TYPE	LUMENS	LAMP TYPE	INPUT WATTS	VOLTAGE	MOUNTING
▲	2,064	3000K LED	23.2	120	RECESSED, CEILING

6" RECESSED LED

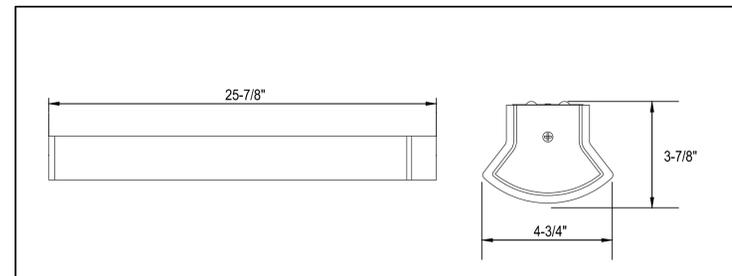


- LUMINAIRE DESCRIPTION:**
1. HOUSING CONSTRUCTION SHALL BE COLD-ROLLED STEEL.
 2. OPTICS SHALL BE HIGHLY TRANSMISSIVE PATTERN.
 3. FIXTURE SHALL BE IC RATED.
 3. FIXTURE SHALL HAVE INTEGRAL BATTERY BACK-UP WHERE INDICATED (☑).

DETAIL BASED ON LITHONIA LIGHTING, "2GTL" SERIES

TYPE	LUMENS	LAMP TYPE	INPUT WATTS	VOLTAGE	MOUNTING
▲	3,843	3000K LED	29.83	120	RECESSED, CEILING

2' x 4' PRISMATIC LENSED TROFFER

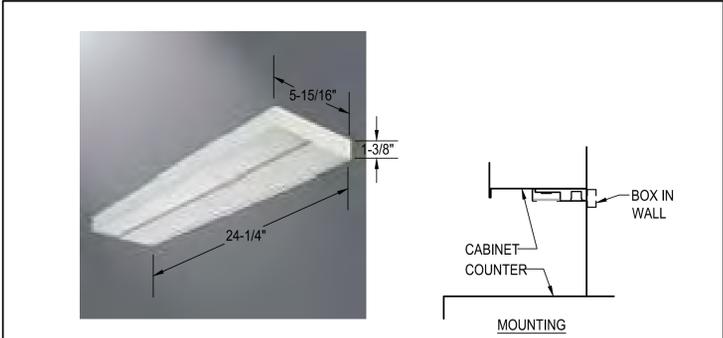


- LUMINAIRE REQUIREMENTS:**
1. HOUSING SHALL BE CODE GAUGE COLD ROLLED STEEL HOUSING, WITH FLAT SNAP-N-LOCK END CAPS.
 2. OPTICS SHALL BE IMPACT RESISTANT WITH A MEDIUM DIFFUSED LENS.
 3. LEDS SHALL BE 82 CRI.
 4. HIGH-EFFICIENCY, INTEGRAL ELECTRONIC LED DRIVER.
 5. FINISH COLOR SHALL BE HIGH GLOSS WHITE.
 6. UL LISTED AND DAMP LOCATION LISTED AND TESTED IN ACCORDANCE WITH IESNA LM-79, L90 AND LM-80 STANDARDS.

DETAIL BASED ON LITHONIA LIGHTING, "WL2" SERIES

TYPE	LUMENS	LAMP TYPE	INPUT WATTS	VOLTS	MOUNTING
▲	1,190	3000K LED	12.2	120	ABOVE DOOR, 7'-6"

2' WALL MOUNTED LED FIXTURE

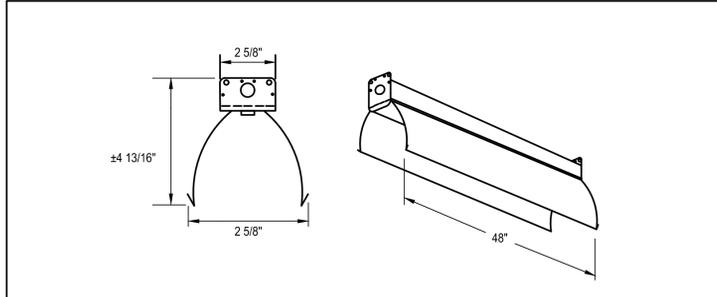


- LUMINAIRE DESCRIPTION:**
1. FINISH SHALL BE GLOSS WHITE POLYESTER POWDER COAT.
 2. HOUSING SHALL BE 20 GAUGE COLD-ROLLED STEEL WITH KNOCKOUTS ON BACK AND EACH END.
 3. LENS SHALL BE OPAL ACRYLIC AND OPAL POLYCARBONATE.
 4. FIXTURE SHALL PROVIDE 01-0V DIMMING.
 5. FIXTURE SHALL HAVE INTEGRAL ROCKER SWITCH.
 6. UL LISTED FOR DAMP LOCATIONS.

DETAIL BASED ON LAMAR LIGHTING, "UCEL" SERIES

TYPE	LUMENS	LAMP TYPE	INPUT WATTS	VOLTAGE	MOUNTING
▲	865	3000K LED	9.7	120	SURFACE, UNDER CABINET

2' UNDERCABINET FIXTURE

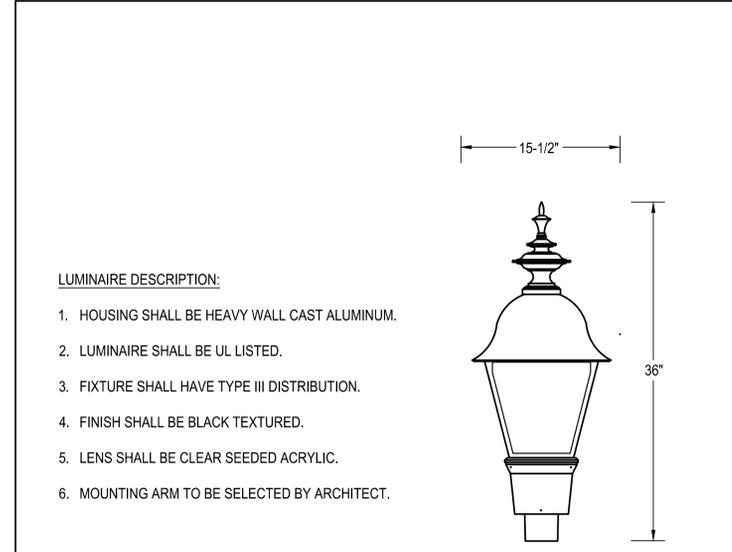


- LUMINAIRE DESCRIPTION:**
1. HOUSING: COLD ROLLED STEEL HOUSING, FLAT END CAPS.
 2. PROVIDE WITH SPECULAR REFLECTOR.
 3. HIGH-EFFICIENCY, INTEGRAL ELECTRONIC LED DRIVER.
 4. UL LISTED AND DAMP LOCATION LISTED AND TESTED IN ACCORDANCE WITH IESNA LM-79 AND LM-80 STANDARDS.
 5. FIXTURE SHALL HAVE INTEGRAL BATTERY BACK-UP WHERE INDICATED (☑).

DETAIL BASED ON COOPER LIGHTING, "SNLED REFLECTOR" SERIES

TYPE	LUMENS	LAMP TYPE	INPUT WATTS	VOLTAGE	MOUNTING
▲	5,417	3000K, 85 CRI LED	41	120	CEILING, PENDANT MOUNTED WITH RIGID STEM @ 8'-0" AFF, UON

4' INDUSTRIAL LED STRIP



- LUMINAIRE DESCRIPTION:**
1. HOUSING SHALL BE HEAVY WALL CAST ALUMINUM.
 2. LUMINAIRE SHALL BE UL LISTED.
 3. FIXTURE SHALL HAVE TYPE III DISTRIBUTION.
 4. FINISH SHALL BE BLACK TEXTURED.
 5. LENS SHALL BE CLEAR SEEDED ACRYLIC.
 6. MOUNTING ARM TO BE SELECTED BY ARCHITECT.

DETAIL BASED ON STERNBERG LIGHTING, "9403" SERIES

TYPE	LUMENS	LAMP TYPE	INPUT WATTS	VOLTS	MOUNTING
▲	2,725	2700K LED	46	120	WALL @ 8'-6" AFF

WALL-MOUNTED LANTERN FIXTURE

REVISIONS



LIGHTING DETAILS

DOCKMASTER'S BUILDING

425 WATER STREET
YORKTOWN, VIRGINIA 23690

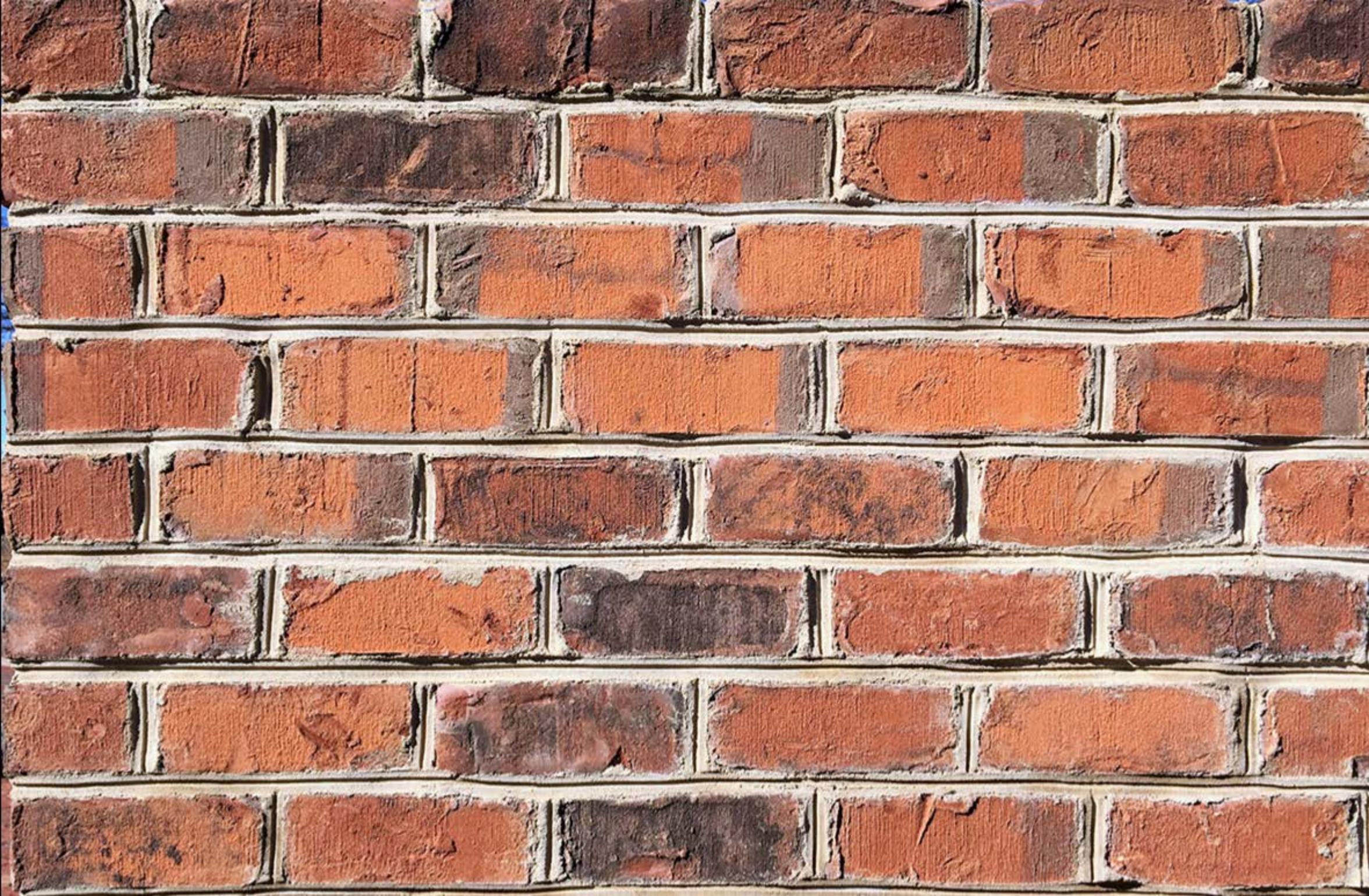
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COMM. NO. 19006
DRAWN BY: JAC

E5.01

DATE: 01/15/2020
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BROWNSTONE

967F6C

R=150 G=127

B=108